



## Building Report

This information has been supplied by the Vendor or the Vendor's agents. Accordingly, Optimize Realty cannot guarantee its accuracy and reliability.

All intending Purchasers are advised to conduct their own due diligence investigation into the same. To the maximum extent permitted by law, Optimize Realty Limited do not accept any responsibility to any person for the accuracy of the information herein.



## RED LBP PRE-PURCHASE REPORT

- ✔ Completed by a trade professional
- ✔ Complies with NZS 4306:2005 Residential Property Inspection
- ✔ Full comprehensive written report
- ✔ Non-invasive moisture testing
- ✔ Floor level spot checked
- ✔ Summary identifying any significant faults or defects

# PRE-PURCHASE



0800 113 191 • REDLBP.CO.NZ



# TABLE OF CONTENTS

TITLE PAGE . . . . .	1
TABLE OF CONTENTS . . . . .	2
PRE-PURCHASE BUILDING REPORT . . . . .	3
CERTIFICATE OF INSPECTION . . . . .	4
LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT. . . . .	5
EXECUTIVE SUMMARY. . . . .	7
PROPERTY IDENTIFIERS . . . . .	8
BUILDING DESCRIPTION . . . . .	8
BUILDING ELEMENTS. . . . .	9
WEATHERTIGHTNESS . . . . .	10
FOUNDATION . . . . .	11
WALL FRAMING . . . . .	12
ROOF SPACE. . . . .	14
INTERIOR LININGS . . . . .	16
ROOF SYSTEM . . . . .	30
EXTERIOR CLADDING . . . . .	38
EXTERIOR JOINERY . . . . .	41
OUTBUILDINGS . . . . .	43
NON-STRUCTURAL SYSTEMS. . . . .	46
DRIVEWAY . . . . .	47
PATHS . . . . .	48
RETAINING WALLS . . . . .	49
DECK. . . . .	50
PATIO . . . . .	51
VERANDAH/PORCH. . . . .	52
DRAINAGE . . . . .	54
HEATING.COOLING.VENTILATION . . . . .	56
SERVICES . . . . .	58
CONCLUSION . . . . .	64



# PRE-PURCHASE BUILDING REPORT

Property Address	19 Stoneybrook Lane, Kamo, Whangarei, Northland, 0112, NZL		
Client	Roz And Richie Fitzpatrick		
Date of Inspection	6th June 2024	Time	1:30 pm
Inspector	Jamie Mackintosh Licensed Building Practitioner Brick & Block		
LBP Number	116085		
Additional Information			
People Present	Inspector, Agent		
House Occupied	Yes		





# CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

**REDLBP.**  
BUILDING REPORTS & PROPERTY INSPECTIONS

**Company:** Northland Properties Ltd trading as RedLBP Northland

**Client:** Roz And Richie Fitzpatrick

**Date of Inspection:** 6th June 2024

**Site Address:** 19 Stoneybrook Lane, Kamo, Whangarei, Northland, 0112, NZL

**Inspector:** Jamie Mackintosh

**Qualifications:** Licensed Building Practitioner Brick & Block

The following areas of the property have been inspected:

Inspection	Yes	No	Limited	N/A
Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Subfloor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof Space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Accessory Units, Ancillary Spaces and Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Any limitations to the coverage of the inspection are detailed in the written report.

## Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

**Name:** Jamie Mackintosh

**Date:** 6th June 2024

**Signature:**

(for and on behalf of REDLBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

**Note \*** please refer to TERMS of ENGAGEMENT

# LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT

## PURCHASE BUILDING REPORT

This report has been generated through a non-invasive inspection and is intended to provide recommendations solely on visible items. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report.

This report is not a weathertight report. Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only.

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

## GENERAL

This report has been completed via a non-invasive inspection and provides recommendations only to items that were able to be seen. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report. The report is to be used by the client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing report dealing with the premises from every aspect. The report is not intended to provide an indication of value, worth or suitability of the premises. This report should be seen as a general guide from a qualified trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase,

rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective. Where qualified building recommendations have been inappropriate, recommendations from sub-trade experts have been given and noted. The experts may include electrical inspectors, weathertightness experts, engineers, and surveyors.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the qualified LBP completing the report and there may be cause for variation. Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection. In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation. The report is valid only for a period of 30 days after release to the client, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

The assessment of any apparent defect which may occur intermittently or usually occurs after regular use will not be reported nor any defect that is only evident with prevailing weather.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

Written reports completed by Red LBP follow the voluntary standard NZS4306:2005.

Note. This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

# EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type. BOINZ Accreditation recommendation as to how this is described using Average, Above or Below. NZS4306:2005

## 3.2 The Property Report

A property report supplied by the inspector shall include the following

(I) A summary which includes an opinion as to the overall condition of the dwelling in the context of it's age, type and general expectations of similar properties.

The dwelling was originally built in the 2000's.

Areas not inspected or accessed fully - Roof space and roof system.

The reason for not inspecting these - Not able to be viewed safely from a 3.6 metre ladder and confined space.

All attempts will be made to safely view, but if unable to inspect the areas, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

A confined space:

- is an enclosed or partially enclosed space and
- is not intended or designed primarily for human occupancy and
- may present a risk from one or more of the following at any time:
  - : unsafe concentration of harmful airborne contaminants
  - : unsafe concentration of flammable substances
  - : unsafe levels of oxygen
  - : substances that can cause engulfment
  - : harmful or toxic substances

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.



## PROPERTY IDENTIFIERS

Address	19 Stoneybrook Lane, Kamo, Whangarei, Northland, 0112, NZL
Legal Description	LOT 6 DP 211189 - SUBJ TO EASES
Certificate of Title	NA139B/400
Land classification	Wind Zone - Medium - BRANZ - GIS
Weather	Overcast
Soil	Dry
Site Exposure	Sheltered

## BUILDING DESCRIPTION

The property was originally built in the 2000's and is located in Kamo. It is a freehold title situated on a ROW section that is flat.

The dwelling is one storey with four bedrooms and two bathrooms. Internally, the property has heating that consists of heat pumps and a gas fire which are located in the living room and bedroom. The water system is heated by gas. The internal linings are plasterboard and are decorated with paint and wallpaper. The floors are concrete with floor coverings being tile, carpet and timber overlay.

The foundation system is a concrete slab on grade with the dwelling being timber construction. The exterior joinery is aluminium and is single-glazed. The property is clad with a brick veneer with a factory finish. The roof is masonry tiles.

There is a garage that is attached to the house, with double capacity and internal access also a stand-alone garage with double capacity. The driveway is concrete.

Generally, the property has a living aspect of north and includes hard landscaping that consists of a deck and concrete paths. Soft landscaping of lawn and gardens.

# BUILDING ELEMENTS

The following is a summary of the building elements inspected:

Type	Inspected
<b>Weathertightness</b>	
Weathertightness risk	Considered
<b>Foundation</b>	
Type C2 - Timber framed dwelling on concrete floor with heavy-weight cladding.	Limited access
<b>Wall Framing</b>	
Timber framed - wall	Not viewed
<b>Roof Space</b>	
Timber framed - roof	Limited access
<b>Interior Linings</b>	
Plasterboard ceiling and wall linings, timber trims and doors, carpet, composite and tile floor coverings.	Viewed
Kitchen	Viewed
Lounge	Viewed
Bedroom 1	Viewed
Ensuite	Viewed
Bedroom 2	Viewed
Bedroom 3	Viewed
Bathroom	Viewed
Bedroom 4	Viewed
Garage	Viewed
<b>Roof System</b>	
Masonry tiles	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access
<b>Exterior Cladding</b>	
Brick veneer	Viewed
<b>Exterior Joinery</b>	
Single-glazed aluminium joinery with timber reveals.	Viewed
<b>Outbuildings</b>	
Garage	Viewed

# Weathertightness

Weathertightness risk assessment.

Weathertightness is the ability of a building's external cladding and components to prevent external moisture ingress to enter the internal of the building.

Wind zone - Medium = 0 (scoring range of 0-2).

Number of stories - One storey = Low risk - 0 (scoring range of 0-4).

Roof/wall intersection design - Low risk - roof-to-wall junctions fully protected (e.g. hip or gable roof with eaves) = 0 (scoring range of 0-5).

Eaves width - Low risk - greater than 600 mm single storey = 0 (scoring range of 0-5).

Envelope complexity - Medium risk - Moderately complex, angular or curved shapes (e.g. Y or arrowhead) with no more than two cladding types = 1 (scoring range of 0-6).

Deck design - Low risk - None, timber slat deck, or porch at ground level = 0 (scoring range of 0-6).

Total Risk matrix score - 1.

## Over-all Risk Score

Score. . . . . Risk Severity

0 - 6. . . . . Low risk

7 - 12. . . . . Medium risk

13 - 20 . . . . . High risk

Over 20. . . . . Very high risk

The weathertight risk matrix is for design purposes, although it allows us to consider the home's weathertightness it does not reflect the condition of the home.

## Philosophy of risk assessment

The development of the risk assessment approach taken in E2/AS1 is based on work undertaken in 1999 by two Canadians, architect Don Hazeldon and building scientist Paul Morris. They developed a simple concept called the 4Ds to describe four basic principles of water management in buildings.

Deflection: keeping water away from potential entry points.

Drainage: providing means of removing water that does enter.

Drying: allowing any remaining moisture to be removed by ventilation or diffusion, and

Durability: providing materials with appropriate durability.

As per the guidance document for Acceptable Solution E2/AS1 ("E2/AS1") for Clause E2 External Moisture of the New Zealand Building Code.

## Recommendations:

The weathertight risk matrix is for design purposes, although it allows us to consider the home's weathertightness it does not reflect the condition of the home.

# Foundation

Type - C2 - Timber-framed dwelling on a concrete floor with heavyweight cladding.

Height above finished ground - Over 150 mm around the perimeter.

The minimum heights of the floor above the ground should be maintained at 150 mm to paved ground, 225 mm to unpaved ground

Cracking - None observed.

Dampness - None visible at the time of the inspection.

## Recommendations:

The floor levels were checked using a self-levelling laser.

Concrete slab surface level - Within 6 months of new, BRANZ suggests concrete slabs be level to within  $\pm 10$  mm of the specified floor level in any one room or space.

The maximum permitted surface deviation is  $\pm 3$  mm in any 3 m of length.

NZS 3109-1987 IN STIU CONSTRUCTION

- Length and height of component -

-  $L < 0.5$  mtr =  $\pm 10$  mm,

-  $L < 1.5$  mtr =  $\pm 12$  mm,

-  $L < 3.0$  mtr =  $\pm 15$  mm,

-  $L < 10.0$  mtr =  $\pm 20$  mm ,

-  $L < 10.0$  mtr =  $\pm 0.002L$ .

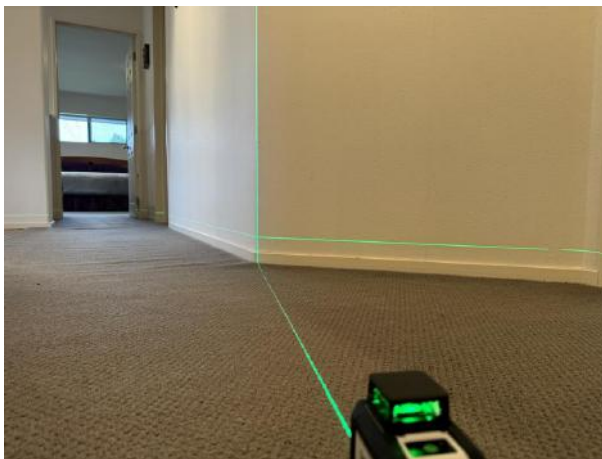


Photo 4

Floor levels checked with a self levelling laser level.



# Wall Framing

Protimeter Reachmaster Pro moisture metre is used for the testing of moisture levels in the dwelling. At the time of the inspection internal surface moisture test were completed, this was consistent throughout the house with no abnormalities.

The ensured values are only to be interpreted as indicators (dry, risk, wet).

<60 = Dry

<60 but <170 = Dry (Green)

>170 but <200 Risk (Yellow)

>200 but <999 = Wet (red)

The condition of the timber framing is unknown.

## Recommendations:

No elevated moisture readings were detected, all normal at time of inspection.

The condition of the internal framing is unknown.



Photo 5

No elevated moisture readings at the time of inspection.



Photo 6

No elevated moisture readings around the wet areas at the time of inspection.

# Roof Space

The ceiling space was viewed from the top of a ladder via a manhole located in the garage. Access hatch size - 500mm x 500mm.

All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. Not all areas of the roof space structure can be seen and the purpose of our inspection is to check for any overall significant defects from a visual inspection.

Roof frame construction and connections - Manufactured timber trusses. Connections were not all visible.

Condition - No issues visible.

Roofing underlay - Bituminous self-supporting paper. Condition - No visible issues.

Obvious structural alteration - No.

Ceiling construction - Timber ceiling battens visible.

Vermin and insects - No visible signs during the inspection.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Unsupported.

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - All pipework sighted is in a tidy order.

Plumbing type - Green polypropylene.

Insulation - Glass wool.

Thickness of insulation visible - Over 125mm.

Coverage - Blanket - Fitted between or over joists - Acceptable.

Discharges into the roof space - No.

Intertenancy fire wall - Not applicable.

Stored items - No.

Visible defects - No visible defects at the time of the inspection.

## Recommendations:

As part of regular maintenance, it is advisable to conduct regular visual checks of the roof space via the manhole to identify any issues, including leaks or pest activity.



Photo 7

Roof space showing manufactured timber trusses.



Photo 8

Roof space showing green water pipes and glass wool insulation.



# Interior Linings

Plasterboard ceiling and wall linings with a paint and wallpaper finish, timber trims and doors with a paint finish, carpet, composite and tile floor coverings.

## Recommendations:

The inspection and resulting report are not intended to identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

## Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Laminate.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - PVC waste and braided wire.

Heat shield - Stainless steel.

Cooktop - Gas - Checked. Functional - Yes.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Garbage disposal - Not applicable.

Floor coverings - Composite flooring.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Panel.

Defects - None identified.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 9

Kitchen.



Photo 10

Living area.

## Lounge

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 11

Lounge.

### Bedroom 1

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.





Photo 12

Bedroom one.

## Ensuite

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard and tiles - Factory finished and wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Tiles.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste and braided wire.

Splashback - Tiled.

Bath - Not applicable.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - Yes.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.



Photo 13

Ensuite.

## Bedroom 2

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 14

Bedroom two.

### Bedroom 3

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 15

Bedroom three.

## Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard and tiles - Factory finished and wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Tiles.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste and braided wire.

Splashback - Tiled.

Bath - Inbuilt (enclosed cradle). Taps and waste functional - Yes.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - Yes.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

### Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units.

It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.





Photo 16

Bathroom.



Photo 17

Bath and shower.



Photo 18

Separate toilet.

Bedroom 4

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 19

Bedroom four.

## Garage

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Paint finished.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium - Double-glazed - Safety & standard glass - Painted timber reveals.

Garage door - Sectional - Double - Aluminium - Not insulated - Automatic opener functional - Yes.

Internal doors - Hollow core.

Floor coverings - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - No significant issues.



Photo 20

Garage.



Photo 21

Laundry area.

# Roof System

Type of roof construction - Hip roof.

Pitch of roofs - 25 - 30 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

All attempts will be made to safely view, but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

Masonry tile roofing.

Surface finish - Factory.

Condition of surface - No visible issues at the time of the inspection.

Tile and mortar condition - No visible issues at the time of the inspection.

Ridges/Hips/Barges - No visible issues at the time of the inspection.

## Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

The roof displayed visible signs of moss, mould, or lichen growth in certain areas, and it is advised to address this issue as part of regular maintenance. Failure to do so could cause deterioration of the coating.

To ensure the longevity and performance of masonry tiles, it is important to adhere to the manufacturer's specifications and perform regular upkeep and maintenance. This typically involves following specific cleaning and sealing procedures on a regular basis. By doing so, you can protect the tiles from deterioration, staining, and other forms of damage.



Photo 22

Masonry tile roofing.



Photo 23

Patches of moss/lichen in most areas.



Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6 metre ladder or safe vantage point.

Valleys - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Barge - Viewable areas only.

Material type - Masonry.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Hips - Viewable areas only.

Material type - Masonry.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Ridges - Viewable areas only.

Material type - Masonry.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Apron - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - Flues and venting.

Flashing material - Lead.

Condition - No visible issues at the time of the inspection.

Sealants - No visible issues at the time of the inspection.

Signs of leaking - None visible at the time of the inspection.

#### Recommendations:

Over time, sealants can deteriorate due to exposure to weather conditions, UV radiation, temperature fluctuations, and general wear and tear. Regular inspections of the roofing system should include a thorough examination of the sealants to identify any signs of degradation, such as cracks, gaps, or peeling.

Checking the sealants involves visually inspecting the areas where they are applied, such as around vents, chimneys, skylights, and flashings. If any issues are identified, it is essential to address them promptly to prevent further damage and maintain the integrity of the roofing system.



Photo 24

Example of a metal valley flashing with vermin guard. Functional.



Photo 25

Example of a masonry barge flashing. Functional.



Photo 26

Example of a masonry hip flashing. Functional.



Photo 27

Flue penetration with lead flashing.



Photo 28

Vent penetration with lead flashing.

## Guttering

Type - External.

Material - Profiled metal.

Snow straps - No.

Gutter guard - No.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes - No visible issues.

Rainwater heads and droppers - No visible issues at the time of the inspection.

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

## Downpipes

Material - PVC.

Fixings - No visible issues at the time of the inspection.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Corrosion - Not applicable.

Spreaders - Not applicable.

Leakage, blockages & discharge - No visible issues at the time of the inspection.

## Fascia & bargeboards

Material - Timber.

Finish - Paint.

Damage & corrosion or rot - Areas requiring maintenance.

## Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - 500 - 600mm.

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

## Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

The gutters were clear at the time of the inspection. It is important to keep the gutters clear of debris to ensure proper drainage. Clogged gutters can cause water to overflow and pool on the roof or into other elements of the building, leading to potential water damage, leaks, and structural issues. Regularly removing leaves, twigs, and other debris from the gutters prevents blockages and allows water to flow freely away from the roof.

There are areas of the timber fascia that require sanding back any loose flakey paint, apply a sealer coat then redecoration to prevent further deterioration.



Photo 29

Example of profiled metal guttering. Clear at the time of inspection.



Photo 30

Example of timber fascia boards and fibrous cement soffits.





Photo 31

Paint flaking on the front door timber barge boards.



Photo 32

Example of a PVC downpipe.



# Exterior Cladding

Material - Clay brick.

Finish - Factory.

Erosion or spalling - None visible.

Mortar erosion/issues - None visible.

Cracking - None visible.

Lintels - Not applicable.

Loose bricks - Refer to photos.

Brick to foundation alignment - No visible issues at the time of inspection.

Weep-holes - Clear at the time of inspection.

Vent holes - Clear at time of inspection.

Movement or cracking - None visible at the time of inspection.

Penetrations - No visible issues at the time of inspection.

Dampness or moisture damage - None visible at the time of inspection.

Lime leaching - None visible at the time of inspection.

Efflorescence - None visible at the time of the inspection.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

## Recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below spouting and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.



Photo 33

West elevation.



Photo 34

Loose brick at the front door.



Photo 35

South elevation.



Photo 36

East elevation.



Photo 37

North elevation.



Photo 38

Example of a vent hole. Clear at the time of inspection.



Photo 39

Example of a weep hole. Clear at the time of inspection.

# Exterior Joinery

Single-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Tracks, drainage channels & weep-holes - Clear of debris.

Reveals - Timber.

Finish - Painted. No visible issues at the time of the inspection.

Damage - None visible at the time of the inspection.

Cladding/soffit junctions - No visible issues at the time of the inspection.

Exterior flashings - Head flashings installed.

Scribers and/or seals - Not applicable.

Entrance doors - Timber door with aluminium frame.

Garage joinery - Single-glazed.

Defects - None visible at the time of the inspection.

## Recommendations:

Keep tracks, drainage channels & weep-holes clear of debris.



Photo 40

Example of aluminium joinery with timber reveals.





Photo 41

Example of typical joinery to cladding detail. Metal head flashings installed.

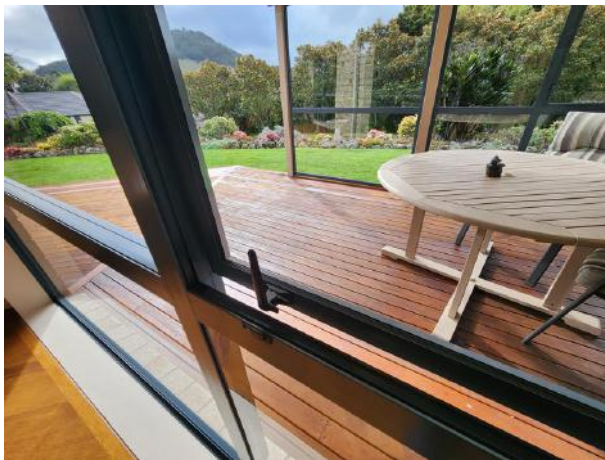


Photo 42

Living room window is out of alignment and catching on the left-hand side.

# Outbuildings

## Garage

Foundation system - Concrete slab on grade.

Block construction.

Cladding - Brick.

Exterior joinery - Aluminium - Single-glazed Standard glass - Painted timber reveals.

Roofing - Concrete tile.

Linings - Plasterboard - Painted.

Garage door - Sectional - Single - Aluminium - Not insulated - Automatic opener functional - Yes.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Internal doors - Aluminium.

Defects - None identified.



Photo 43

Double garage with brick veneer cladding.





Photo 44

Roof space showing manufactured timber trusses and glass wool insulation.



Photo 45

Painted plasterboard linings.



Photo 46

Timber framed carport with polycarbonate roofing on the west side of the garage.



Photo 47

Metal brackets direct fixed to the soffit.



Photo 48

Metal framed carport with polycarbonate roofing between the two garages.



Photo 49

Metal brackets direct fixed to the soffits. Visible surface rusting to some brackets. Recommend cleaning, treating and re-painting.

# NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

System	Type
Driveway	Concrete
Paths	Concrete
Retaining Walls	Retaining walls
Deck	Timber
Patio	Concrete
Verandah/Porch	Verandah
Drainage	Gully-traps, stormwater risers, sumps
Heating.Cooling.Ventilation	Heat pump and flued gas heater
Services	Services

# Driveway

Plain concrete.

Saw cuts - Yes.

Cracking - Areas of cracking visible.

## Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 50

Concrete driveway.

# Paths

Plain concrete paths.

Recommendations:

General upkeep and maintenance.

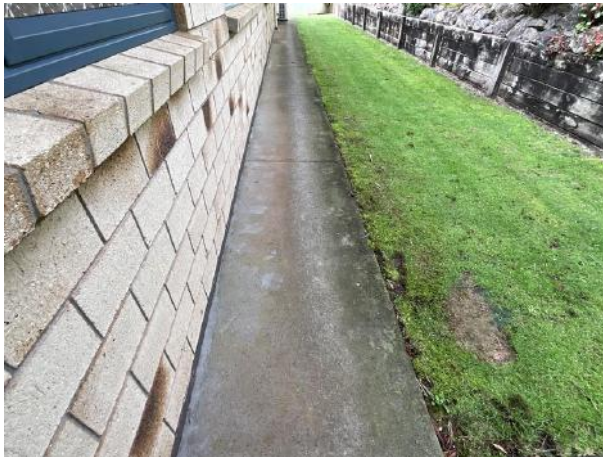


Photo 51

Concrete path off the patio running along the south side of the dwelling.



Photo 52

Concrete path running along the east side of the dwelling.





Photo 53

Concrete path running from the northern deck to the driveway.

## Retaining Walls

Type - Timber.

Height of retaining wall - 800mm.

Rotation - Slight rotation.

Moisture - None visible at time of inspection.

Damage - No.

### Recommendations:

Earth bound, visual inspection to exposed sections only.



Photo 54

Timber retaining wall located along the south side of the property.



# Deck

Timber deck over timber substrate with nail fixings.

Connected to dwelling - Yes.

Condition of visible timbers - No visible deterioration of timbers.

Balustrade - Not applicable.

Height of Balustrade - Not applicable.

Defects - None visible at the time of the inspection.

## Recommendations:

The timber deck structure on this property is directly connected to the dwelling. While there were no noticeable issues at the time of this inspection, this can cause a number of issues regarding moisture. Current building code regulations require a 15 mm gap between the decking and dwelling so as to stop water ponding/sitting in between and causing issues. Recommend monitoring this area for any issues and keeping it clear of debris.



Photo 55

Timber deck off the living and bedroom one, on the north side of the dwelling.

# Patio

Concrete patio.

## Recommendations:

General upkeep and maintenance.



Photo 56

Concrete patio off the laundry on the south side of the dwelling.

# Verandah/Porch

Timber framed verandah.

## Recommendations:

General upkeep and maintenance.



Photo 57

Timber framed verandah with polycarbonate roofing and aluminium joinery off the living room and bedroom one, on the north side of the dwelling.



Photo 58

Timber and polycarbonate roofing with fabric sunshade.



Photo 59

Aluminium glass panels,  
window and ranch slider.



Photo 60

Metal brackets supporting the  
rafters.

# Drainage

Gully traps and stormwater risers. Refer to photos below showing visible issues.

## Recommendations:

The general adequacy of site drainage is not included in the report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection.

Keep vegetation and soils clear of drainage.

It is recommended to connect the downpipes on the garage to an approved stormwater system.



Photo 61

Pop-up inspection cover located on the south side of the dwelling.



Photo 62

Stormwater from the stand-alone garage is discharging straight to the ground.



# Heating.Cooling.Ventilation

Heat pump - Power connected at the time of inspection, full operation not tested.

Manufacturer - Daikin.

Location - Bedroom and Living room.

Kilowatt rating - Heating - 8.0kw and 3.4kw Cooling - 7.0kw and 2.5kw.

Flued gas heater.

## Recommendations:

Service as per manufacturer's recommendations. Clean heat pump filters every 4 - 12 weeks depending on the placement of the unit.



Photo 63

Exterior heat pump units located on the south side of the dwelling.



Photo 64

Daikin inverter heat pump located in bedroom one.



Photo 65

Daikin inverter heat pump located in the living room.



Photo 66

Rinnai freestanding gas burner located in the living room.

# Services

Services/systems tested.

Fire warning & control systems - Tested - No.  
Heating systems - Powered on only.  
Central vacuum systems - Not applicable.  
Ventilation systems - Not applicable.  
Security systems - Not applicable.  
Security cameras - Not applicable.  
Electricity services - Tested - Yes.  
Gas services - Tested - Yes.  
Gas bottle storage - Not applicable.  
Water services - Tested - Yes.  
Hot water services - Tested - Yes.  
Foul water services - Tested - Yes.  
Grey water recycling system - Not applicable.  
Rainwater recycling system - Not applicable.  
Solar heating - Not applicable.  
Solar power/panels - Not applicable.  
Aerials & antennae - Tested - No.  
Shading systems - Not applicable.  
Telecommunications - Tested - No.  
Lifts - Disabled access - Not applicable.  
Water pump - Tested - Yes.  
Storm-water soak pits - Not applicable.  
Distribution board - Tested - No.  
Header tank - Not applicable.  
Communications hub - Tested - No.  
Automatic garage door opener - Tested - Yes.  
Ceiling fan - Tested - No.

## Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.  
Distribution board location - Garage.  
Earth stake - Location - On the West side of the dwelling.  
Metre box - Location - On the West side of the dwelling.  
Electrical connection - Underground supply.

## Water heating

Type - Gas califont.  
Capacity - Continuous flow.  
Approximate age - Unknown.

Seismic bracing - Not applicable.  
Area serviced - Entire house.  
Any visible defects - None visible.

Water source - Rainwater.

Gas Metre - West side of dwelling.

Sewerage Disposal - On-site septic tank.

#### **Recommendations:**

All services should be tested and maintained by certified professionals to the manufacturer's specifications.

New Zealand law states that smoke alarms must be installed:

- in all residential buildings, including rental homes, boarding houses, rental caravans, and self-contained sleep-outs;
- on each level of a multi-level home;
- in every escape route (hallway); and
- within 3m of each bedroom door or inside every room where a person sleeps.

All new smoke alarms must:

- be photoelectric
- have a battery life of at least eight years, or be hard-wired
- installed according to the manufacturer's instructions
- meet international standards.

#### **Rain water maintenance**

Regular maintenance is important to keep the water clean.

Every 3–6 months, inspect the gutters, leaf guards and drainpipes and clean as necessary.

Disconnect the pipes to the water tank first if possible.

Every 12 months, you should:

- inspect and clean the roof – disconnect the pipes to the water tank first if possible
- prune away any overhanging branches
- check tank inlets, covers and filters and clean as required
- check the tank exterior and pipes for structural integrity, leaks and seepage
- any damage should be repaired or the components replaced
- check for evidence of access by animals, birds or insects, the presence of algal growth and accumulated sediment. Sediment in the tank should be removed as required. This can be done without emptying the tank by siphoning, pumping, through a scour valve (if the tank has one) or in some cases by using a swimming pool vacuum cleaner. Where sludge cannot easily be removed, the tank may need to be emptied and cleaned. This is best done by professional tank cleaners.

Filters occasionally need replacing – how often depends on water use. For treatment systems, follow the manufacturer's instructions on maintenance.



Photo 67

Metre box located on the west side of the dwelling.

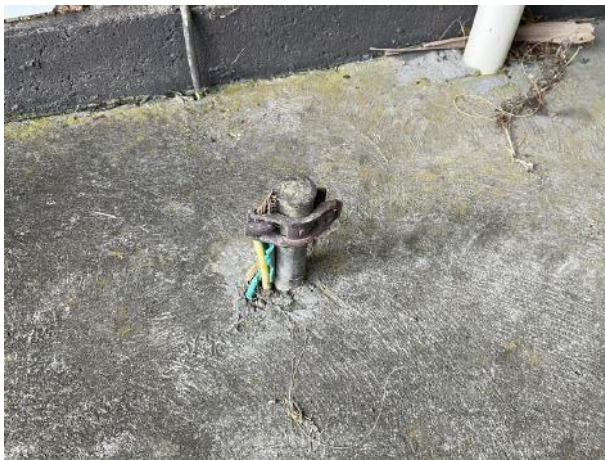


Photo 68

Earth peg located on the west side of the dwelling.



Photo 69

Gas metre located on the west side of the dwelling. Rusting to the top of the cover.





Photo 70

Clothes line located on the south side of the dwelling.



Photo 71

Gas Califont located on the south side of the dwelling.



Photo 72

Concrete water tank located on the east side of the dwelling.





Photo 73

Septic tank system is located on the west side of the property.



Photo 74

Roof space access located in the garage.



Photo 75

Distribution board located in the garage.



Photo 76

Smoke alarms located in the hallway.



Photo 77

Rinnai Hotwater control panel located in the kitchen and bathrooms.



Photo 78

Example of electrical sockets tested throughout the dwelling.

# CONCLUSION

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the local territorial authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident which are to be expected and can be attended to as part of normal maintenance.

It's important when carrying out maintenance or renovations to use licensed practitioners, where required. Hiring licensed builders, electricians, plumbers, gas fitters and drain layer helps make sure the work is done correctly, adheres to safety standards, and meets legal requirements. The use of unlicensed tradespersons may impact your insurance coverage and could ultimately result in higher costs if the work needs fixing later.

There are areas as noted within the report where maintenance is recommended.

Floor levels were checked using a self-levelling laser, all axis checked were within our building code of +/-10mm.

Other than general upkeep and maintenance, there are no obvious issues of concern.

The dwelling is structurally sound and fit for purpose.