



Building Report

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REDLBP.

BUILDING REPORTS & PROPERTY INSPECTIONS

TABLE OF CONTENTS

TITLE PAGE	1
TABLE OF CONTENTS	2
PRE-PURCHASE BUILDING REPORT	3
CERTIFICATE OF INSPECTION	4
LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT.....	5
EXECUTIVE SUMMARY.....	8
PROPERTY IDENTIFIERS	9
BUILDING DESCRIPTION	9
BUILDING ELEMENTS.....	10
FOUNDATION	11
WALL FRAMING	13
ROOF SPACE.....	15
INTERIOR LININGS	18
OUTBUILDINGS	28
ROOF SYSTEM	30
EXTERIOR CLADDING	39
EXTERIOR JOINERY	43
NON-STRUCTURAL SYSTEMS.....	45
DRIVEWAY	46
PATHS	47
BOUNDARY FENCES	49
PATIO	53
GATES	55
DRAINAGE	56
HEATING.COOLING.VENTILATION	58
SERVICES	59
CONCLUSION	64

PRE-PURCHASE BUILDING REPORT

Property Address	57A Mill Rd, Kensington, Whangarei, 0112, NZL		
Client	Meyer Real Estate		
Date of Inspection	14th August 2023	Time	10:00 am
Inspector	Jamie Mackintosh Licensed Building Practitioner Brick & Block		
LBP Number	116085		
Inspection Type	Pre-Purchase Report		
People Present	Inspector		
House Occupied	No		





CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

REDLBP.
BUILDING REPORTS & PROPERTY INSPECTIONS

Company: Northland Inspections Ltd trading as RedLBP

Client: Meyer Real Estate

Date of Inspection: 14th August 2023

Site Address: 57A Mill Rd, Kensington, Whangarei, 0112, NZL

Inspector: Jamie Mackintosh

Qualifications: Licensed Building Practitioner Brick & Block

The following areas of the property have been inspected:

Inspection	Yes	No	Limited	N/A
Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Subfloor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof Space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Accessory Units, Ancillary Spaces and Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Jamie Mackintosh

Date: 14th August 2023

Signature:

(for and on behalf of REDLBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT

PRE-PURCHASE BUILDING REPORT

This report type is to identify the structural aspects of the dwelling, and report on the type, location, and quality of each aspect. It is not designed to replace the input from an engineer, however, will highlight any items that require further investigation from other professionals. This report type will also advise on areas of weathertightness, however, this is a non-invasive visual inspection and further investigation may be required. Should further investigation be required, the correct professional will be recommended. This is not designed to replace a report completed by a qualified Building Surveyor, however, it is designed to satisfy the requirements of lenders and homeowners that the property will fulfil the requirements of being structurally sound and fit for purpose. This report is not a defects list and should not be construed as such. The property report does not contain any assessment in relation to any item which is subject to a special purpose report (items will be mentioned as they are part of the property).

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

VERBAL

This report type will identify and report on all aspects of the property, and information is collected in exactly the same way it is onsite for a written report. A phone call will take place after the inspection to run through all the items of significance that have been identified during the property visit. Verbal reports do not comply with the NZ Standard as they are not in written format, however, the information gathered onsite is the same as when a written report is completed should the report need to be changed from a verbal to a written at a later date.

METH TESTING

This will be completed via samples taken from rooms as required by the homeowner, to test for the presence of methamphetamine in a property. The findings will be tabled and reported on within this document if requested by the homeowner. The testing will be completed by a qualified and experienced laboratory. It is conclusive as per the lab terms and conditions. Turnaround times for testing may be delayed at any time due to issues arising outside the inspectors' control. This includes delays in couriers, holiday closing dates and the like. Meth test results will be passed on as soon as they are available.

FLOOR LEVELS

Floor levels will be undertaken using a Zipline Pro-2000 and will be shown via a grid paper layout of the property that is not to scale. A section of commentary will be given providing general recommendations and tolerances as per NZS3604:2011, NZS 3109-1987, MBIE, BRANZ. This is not designed to replace an engineer; however, the findings will assist in concluding if further professional advice is recommended.

GENERAL

This report has been completed via a non-invasive inspection and provides recommendations only to items that were able to be seen. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report. The Report is to be used by the Client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing Report dealing with the Premises from every aspect. The Report is not intended to provide an indication of value, worth or suitability of the Premises. This report should be seen as a general guide from a qualified trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase, rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective. Where qualified building recommendations have been inappropriate, recommendations from sub-trade experts have been given and noted. The experts may include electrical inspectors, weathertightness experts, engineers, and surveyors. The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property. This report is not a weathertight assessment. Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the qualified LBP completing the report and there may be cause for variation. Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection. In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection,

moving of furniture, appliances or stored items, or excavation. The report is valid only for a period of 30 days after release to the Client, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the Client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

The assessment of any apparent defect which may occur intermittently or usually occurs after regular use will not be reported nor any defect that is only evident with prevailing weather.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

Written reports completed by Red LBP follow the voluntary standard NZS4306:2005.

Note. This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

The dwelling was originally built in the 1980's.

Below is a list of what in our opinion as an LBP are viewed as significant fault or defect - A matter which requires substantial repairs or urgent attention and rectification.

It is recommended to obtain a thorough assessment of the roof's condition by engaging a Licensed Building Practitioner (LBP) specialising in roofing to conduct a comprehensive inspection and prepare a detailed report. Refer to the roofing section for more detail.

Areas not inspected or accessed sufficiently - Roof space, subfloor and roof system. The reason for not inspecting these - Not able to be viewed safely from a 3.6 metre ladder and confined space.

All attempts will be made to safely view, but if unable to inspect the areas, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

PROPERTY IDENTIFIERS

Address	57A Mill Rd, Kensington, Whangarei, 0112, NZL
Legal Description	FLAT 2 DP 103164 HAVING 1/2 INT IN 814 SQ METRES BEING LOT 12 DP 26765
Certificate of Title	NA56D/966
Land classification	Wind Zone - Medium - BRANZ - GIS
Weather	Fine
Soil	Wet
Site Exposure	Sheltered

BUILDING DESCRIPTION

The property was originally built in the 1980's and is located in Kensington. It is a cross lease title situated on a ROW section that is flat.

The dwelling is one storey with two bedrooms and one bathroom. Internally the property has heating that consists of a heat pump which is located in the lounge. The water system is heated by an electric hot water cylinder. The internal linings are plasterboard and softboard and are decorated with paint and wallpaper. The floors are concrete with floor coverings being tile, vinyl and carpet.

The foundation system is a concrete slab on grade with the dwelling being of timber construction. The exterior joinery is aluminium and is single glazed. The property is clad with brick veneer and fibrous cement weatherboard with a factory finish and with a paint coating. The roof is decramastic tin tiles.

There is a carport that is attached to the house, with single capacity. The driveway is concrete. Generally the property has a living aspect of northwest and includes hard landscaping that consists of a patio and concrete paths, soft landscaping of lawn and gardens.

BUILDING ELEMENTS

The following is a summary of the building elements inspected:

Type	Inspected
Foundation	
Type C2 - Timber framed dwelling on concrete floor with heavy-weight cladding.	Limited access
Wall Framing	
Timber framed - wall	Not viewed
Roof Space	
Timber framed - roof	Limited access
Interior Linings	
Plasterboard and softboard ceiling and wall linings, timber trims and doors, carpet, vinyl and tile floor coverings.	Viewed
Kitchen	Viewed
Lounge	Viewed
Laundry	Viewed
Bedroom 1	Viewed
Bedroom 2	Viewed
Bathroom	Viewed
Hallway	Viewed
Outbuildings	
Studio	Viewed
Carport	Viewed
Roof System	
Pressed metal tiles	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access
Exterior Cladding	
Fibrous cement weatherboard, brick veneer and timber weatherboard	Viewed
Exterior Joinery	
single-glazed aluminium joinery with timber reveals.	Viewed

Foundation

Type - C2 - Timber-framed dwelling on a concrete floor with heavyweight cladding.

Height above finished ground - Minimum heights have been reduced due to - Raised gardens.

Minimum heights of floor above ground should be 150 mm to paved ground, 225 mm to unpaved ground.

Cracking - None observed.

Dampness - None visible at time of inspection.

Recommendations:

The rules for minimum clearances are set out in Building Code Acceptable Solution E1/AS1, E2/AS1 and NZS 3604.

Top of concrete slab on ground – veneer cladding – above paving 100 mm

Top of concrete slab on ground – veneer cladding – above soil 150 mm

Top of concrete slab on ground – other cladding – above paving 150 mm

Top of concrete slab on ground – other cladding – above soil 225 mm

Bottom of cladding to paving – except masonry veneer 100 mm

Bottom of cladding to unpaved ground – except masonry veneer 175 mm

The floor levels were checked using a self-levelling laser.

Concrete slab surface level - Within 6 months of new, BRANZ suggests concrete slabs be level to within ± 10 mm of the specified floor level in any one room or space.

The maximum permitted surface deviation is ± 3 mm in any 3 m of length.

NZS 3109-1987 IN STIU CONSTRUCTION

- Length and height of component -

- $L < 0.5$ mtr = ± 10 mm,

- $L < 1.5$ mtr = ± 12 mm,

- $L < 3.0$ mtr = ± 15 mm,

- $L < 10.0$ mtr = ± 20 mm ,

- $L < 10.0$ mtr = $\pm 0.002L$.



Photo 2

Masonry block foundation.



Photo 3

Recommend lowering the ground clearances at the front door where the raised garden has been installed, as this can draw moisture into the internal framing.



Photo 4

Floor levels checked using a self levelling laser level.

Wall Framing

Timber due to age and construction type.

Recommendations:

No elevated moisture readings were detected, all normal at time of inspection.

The condition of the internal framing is unknown.

Protimeter Reachmaster Pro moisture meter is used for the testing of moisture levels in the dwelling.

Device is held up against the wall, timber or concrete and the unit scans up to 120mm from the surface. Where moisture is located, the readings from the meter will increase significantly. (Note: Metal also increases the readings of capacitance meters)

Measurement Method: Capacitance - Di-electric

Measurement Range: 0-1000 digits

The measurement is effected according to the dielectric measuring principle.

* The measurement results are only to be used as a reference for a rough orientation.

* An important variable influencing the measured value is the bulk density of the element to be measured. The higher the bulk density, the higher the measure value.

*If the material to be measured contains metals (e.g nails, screws, lines, pipes etc.) and is situated within the sensor's measuring field, the measured value skyrockets. In that event the measurement is not conclusive.

*With material thicknesses of less than 20mm there is a danger of humidity values adjacent material layers affecting the measured value.

MEASURED VALUE ASSESSMENT FOR WOOD

Since the measurement value displays of the dielectric measurement method - depending on marginal conditions - are subject to great fluctuations, a resistance measurement is always preferable, in particular for the determination of wood moisture.

MEASURED VALUE ASSESSMENT FOR BUILDING MATERIAL

For building materials, the measurement results of the dielectric measuring method can only be used as a reference for a rough orientation. Conclusions with respect to absolute humidity in mass % (M%) can only be drawn for measurements, performed with the exact same marginal conditions and compositions of the building materials as indicated for the test set-up in the chart below.

The ensured values are only to be interpreted as indicators (dry, risk, wet).

<60 = Dry

<60 but <170 = Dry (Green)

>170 but <200 Risk (Yellow)

>200 but <999 = Wet (red)



Photo 5

No elevated moisture levels at the time of inspection.

Roof Space

The ceiling space was viewed from the attic ladder via a manhole located in the laundry. Access hatch size - 600mm x 600mm.

All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. Not all areas of the roof space structure can be seen and the purpose of our inspection is to check for any overall significant defects from a visual inspection.

Roof frame construction and connections - Manufactured timber trusses. Connections were not all visible.

Condition - No issues visible.

Roofing underlay - Bituminous self-supporting paper. Condition - Torn - Areas requiring re-fixing.

Obvious structural alteration - No.

Ceiling construction - Timber ceiling battens visible.

Vermin and insects - No current issues.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Supported.

Non-Electrical wiring - Aerial/Data - Visible - Unsupported.

Plumbing - All pipework sighted is in a tidy order.

Plumbing type - Copper.

Insulation - Polyester.

Thickness of insulation visible - Over 175mm.

Coverage - Blanket - Fitted between or over joists - Acceptable.

Discharges into the roof space - No.

Intertency fire wall - checked - Not applicable.

Stored items - No.

Visible defects - No visible defects at the time of the inspection.

Skillion roof

Moisture damage to interior ceiling linings - No visible signs during the inspection.

Type of construction - Exposed timber rafters.

Recommendations:

Regular visual checks to roof space via manhole to check for any issues such as leaks or pest activity as part of regular maintenance.

Skillion roofs by design do not have access to view either construction or if insulation is fitted.

Most properties with this type of roof construction over the past 50-odd years will have insulation, just to what degree cannot be easily established. The older the home the less insulation or thickness of insulation would be present.

This type of roof will or should also have ventilation allowing it to breathe and the condensation to escape. Thus maintaining the roofing structural integrity.



Photo 6

Skillion roof over the lounge.



Photo 7

Roof space showing manufactured timber trusses.



Photo 8

Insulation installation sticker. R2.8.



Photo 9

Roof space showing copper water pipes and glasswool insulation under the newer polyester.



Photo 10

Areas of torn roofing paper throughout the roof space.

Interior Linings

Plasterboard and softboard ceiling and wall linings with a paint and wallpaper finish, timber trims and doors with a paint finish, carpet, vinyl and tile floor coverings.

Recommendations:

The inspection and resulting report are not intended to identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Wallpaper.

Defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Laminate.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Cabinetry - Functional - Yes. Material type - Solid timber.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - PVC waste.

Heat shield - Not applicable.

Cooktop - Electric - Checked. Functional - Yes.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Garbage disposal - Not applicable.

Floor coverings - Tiles.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - Refer to photos.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.

Recommendations:

Recommend having a registered electrician check for live wires and cover the open electrical socket under the bench.



Photo 11

Kitchen.



Photo 12

Recommend having a registered electrician check for live wires and cover the open electrical socket under the bench.

Lounge

Ceiling linings - Plasterboard and softboard tiles - Paint finished.

Defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Wallpaper.

Defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 13

Lounge.

Laundry

Ceiling linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Located - Laundry room.

Floor coverings - Vinyl.

Laundry tub/sink - Powder-coated metal cabinet with a stainless steel tub. No visible issues.

Taps & waste - Functional - Yes.

Leaks - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Washing machine discharge - Directly into the tub with flexi hose.

Water hammer - No noise or vibration noted.

Cabinets - None.

Cupboards - Single - Door - Hollow core.

Ventilation - Opening door or window.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Defects - None identified.



Photo 14

Laundry.

Bedroom 1

Ceiling linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Wallpaper.

Defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 15

Bedroom one.

Bedroom 2

Ceiling linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Wallpaper.

Defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - None identified.



Photo 16

Bedroom two.

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Vinyl.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Splashback - Mirror.

Bath - Inbuilt (enclosed cradle).

Taps and waste functional - Yes.

Shower - Enclosure. No visible moisture issues.

Sower door - Plastic.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - Refer to photos.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units.

It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.



Photo 17

Bathroom.



Photo 18

Vanity.



Photo 19

Water closet.



Photo 20

Areas of oxidation visible on the bottom of the shower door.

Hallway

Ceiling linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Defects - None visible at the time of the inspection.

Exterior joinery - Not applicable.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 21

Hallway.

Outbuildings

Studio

Foundation system - Concrete slab on grade.

Construction - Timber and block.

Cladding - Timber weatherboard.

Exterior joinery - Aluminium - Single-glazed. Standard glass - Painted timber reveals.

Roofing - Profiled metal.

Linings - Plasterboard - Painted.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Internal doors - Hollow core.

Defects - None identified.



Photo 22

Studio

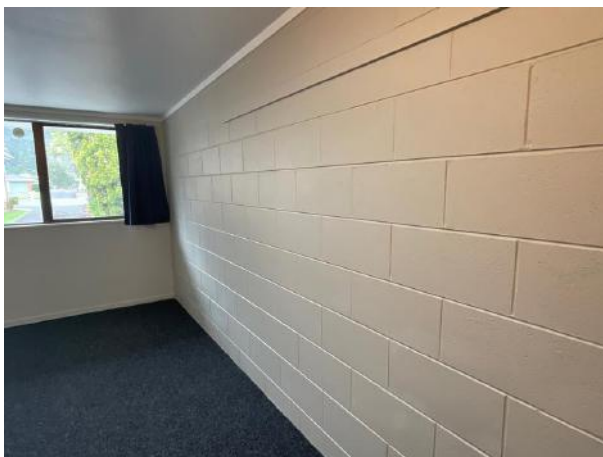


Photo 23

Masonry block firewall.



Photo 24

Timber weatherboard with aluminium joinery.

Carport

Foundation system - Concrete slab on grade.

Insitu poured construction.

Cladding - None.

Exterior joinery - Aluminium - Single-glazed Standard glass - Painted timber reveals.

Roofing - Profiled metal.

Linings - None.

Lights/Switch - Not applicable.

Electrical sockets - Not applicable.

Defects - None identified.



Photo 25

Single carport with profiled metal roof.

Roof System

All attempts will be made to safely view, but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

House roof.

Type of roof construction - Gable roof.

Pitch of roofs - 25 - 30 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

Pressed metal tile.

Coating - Decramastic coated.

Condition of finish - No visible issues at the time of the inspection.

Fixings - Nail, concealed and to the leading edge.

Corrosion, damage or dented - Damage or dented tiles visible, refer to the photos below.

Ridges/Hips/Barges - No visible issues at the time of the inspection.

Moss, moulds or lichen - Treatment required.

Carport/studio roof.

Type of roof construction - Skillion roof.

Pitch of roofs - 5 - 10 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

Roofing material - Profiled metal.

Coating - Painted.

Condition of roofing material coating - Areas of deterioration to the coating, refer to the photos below.

Fixings - Concealed.

Laps - Correctly lapped.

Corrosion or damage to the roofing material - Areas noted, refer to photos below.

Parapets - No visible issues at the time of the inspection.

Moss, moulds or lichen - None visible at the time of the inspection.

Roof-to-wall junctions - No visible issues at the time of the inspection.

Visible defects - Refer to photos.

Recommendations:

The roof was viewed from the top of a 3.6 metre ladder to all accessible elevations.

General upkeep of the roofing system to maintain weathertightness.

Recommend cleaning and painting the profiled metal roof over the carport/studio roof.

Moss and mold treatment is an important aspect of decramastic tile maintenance. Moss and mold can grow on the surface of the tiles, compromising their appearance and potentially leading to damage. Applying appropriate treatments to eliminate moss and mold growth helps to maintain the tiles' integrity and prolong their lifespan.

If recoating is deemed necessary, it is recommended to have a Licensed Building Practitioner (LBP) who specialises in roofing inspect the tiles and provide advice.

Dented tin tiles should be repaired or replaced. The dents will deteriorate the tile's coating, which can cause ponding of water and worst case leaks may occur. Have an LBP in roofing undertake any repairs & maintenance outside of the homeowner's skill level.

It is recommended to obtain a thorough assessment of the roof's condition by engaging a Licensed Building Practitioner (LBP) specialising in roofing to conduct a comprehensive inspection and prepare a detailed report.



Photo 26

Pressed metal tin tile with a decramastic coating.



Photo 27

Profiled metal roof over the carport and studio.



Photo 28

Paint coating has worn in most areas. Visible areas of corrosion on the carport/studio roof. Recommend cleaning and painting.



Photo 29

Example of dented tiles throughout the roof.



Photo 30

Recommend treating the tin tiles with a moss/lichen treatment.

Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6 metre ladder or safe vantage point.

Valleys - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - Visible areas of rust and or corrosion.

Laps - No visible issues at the time of the inspection.

Barge - Viewable areas only.

Material type - Metal.

Finish - Decramastic coating.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Hips - Viewable areas only.

Material type - Metal.

Finish - Decramastic coating.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Ridges - Viewable areas only.

Material type - Metal.

Finish - Decramastic coating.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Apron - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - Venting, solar tubes and skylights.

Flashing material - Rubber and metal.

Condition - Areas requiring maintenance.

Flashings - Back flashing in place.

Sealants - No visible issues at the time of the inspection.

Signs of leaking - None visible at the time of the inspection.

Recommendations:

It is recommended to check sealants are still weathertight to any elements of the roofing system.

Continue upkeep and maintenance, ensuring valleys and gutters are kept clear of debris.



Photo 31

Example of a barge flashing.



Photo 32

Example of a ridge flashing.



Photo 33

Visible rust in the bottom section of the valley flashing on the west facing roof.



Photo 34

Vent penetration with boot flashing.



Photo 35

Solartube with metal flashing. Visible rust to the fixings.



Photo 36

Visible rust on the studio skylight flashings. Recommend having an LBP in roofing report on the repairs/maintenance required.

Guttering

Type - External.

Material - Profiled metal & PVC.

Snow straps - No.

Gutter guard - No.

Falls - Functional.

Fixings/brackets - Maintenance required.

Obstructions - Clear at time of inspection.

Droppers - No visible issues at the time of the inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes - No visible issues.

Rainwater heads and droppers - Installed and functional at the time of inspection.

Spreaders - No visible issues.

Moss and or lichen visible on or in guttering system - None visible at the time of the inspection.

Downpipes

Material - PVC.

Fixings/brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Corrosion - None visible at the time of the inspection.

Leakage & discharge - No visible issues at the time of the inspection.

Fascia & bargeboards

Material - Timber.

Finish - Paint.

Damage & corrosion or rot - Areas requiring maintenance.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - 500 - 600mm.

Recommendations:

The roof was viewed from the top of a 3.6 metre ladder to all accessible elevations.

General upkeep of the roofing system to maintain weathertightness.

Recommend re-fixing the spouting brackets where required.



Photo 37

Example of PVC guttering. Clear at the time of inspection.



Photo 38

Example of timber fascia boards and fibre cement soffits.



Photo 39

Crack in the soffit board on the west side.



Photo 40

Guttering bracket has pulled out of the soffit on the northwest corner. Visible rot on the fascia board where the bracket was sitting.



Photo 41

Some brackets on the north side have pulled out. Recommend re-fixing.

Exterior Cladding

Material - Clay brick.

Erosion or spalling - None visible.

Mortar erosion/issues - None visible.

Cracking - None visible.

Lintels - Not applicable.

Loose bricks - None visible.

Brick to foundation alignment - No visible issues at the time of inspection.

Weep-holes - Clear at the time of inspection.

Vent holes - Clear at time of inspection.

Movement or cracking - Not visible at the time of inspection.

Penetrations - No visible issues at the time of inspection.

Dampness or moisture damage - None visible at the time of inspection.

Lime leaching - None visible at the time of inspection.

Efflorescence - None visible at the time of the inspection.

Fibrous cement - type - Bevel back weatherboard.

Vented cavity - No - Directly fixed to the framing.

Finish - Painted.

Condition of finish - No visible issues.

Areas of moisture absorption - None visible.

Joints/ends - No visible issues.

Cracks/splits/breaks - None visible.

Facings and trims - Securely fixed with no gaps. Bevel back weatherboards require scribes.

Soakers & jointers - Metal and PVC.

Ground clearance - Areas requiring attention.

Seals around doors and windows - Sealing required.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

Recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below spouting and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.

Keep garden beds and any other ground coverings below and away from the exterior cladding. This is important for the cladding systems to function and to ensure moisture does not enter the home through capillary action.



Photo 42

East elevation. Timber weatherboard.



Photo 43

East elevation. Clay brick veneer with timber weatherboard gable.



Photo 44

South elevation.



Photo 45

West elevation.



Photo 46

North elevation.



Photo 47

Recommend sealing the cladding to block junction on the studio, to maintain weather tightness.



Photo 48

Recommend sealing around the pipe penetration by the gully trap, to maintain weather tightness.



Photo 49

Recommend lowering the ground clearances behind the studio.



Photo 50

Recommend lowering the ground clearances around the front door.

Exterior Joinery

Single-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Weep-holes and tracks - No visible issue at the time of the inspection.

Condensation channel - Yes.

Reveals - Timber.

Finish - Painted. No visible issues at the time of the inspection.

Damage - None visible at the time of the inspection.

Cladding/soffit junctions - No visible issues at the time of the inspection.

Exterior flashings - Some joinery would benefit from the installation of head-flashings.

Scribers - Recommend installing scribers.

Entrance doors - Timber door with aluminium frame.

Defects - Refer to the photos below.

Recommendations:

The joinery needs to have any condensation/moisture addressed daily. To prevent the condensation from forming, the installation of a positive airflow ventilation system such as an HRV, DVS, I-Vent or similar should be considered. These greatly reduce any moisture in the home.

It is recommended to install suitable flashings to the exterior joinery.



Photo 51

Example of aluminium windows with timber reveals.



Photo 52

Recommend installing a head flashing over the south facing window.



Photo 53

Example of typical aluminium joinery detail. No head flashings.

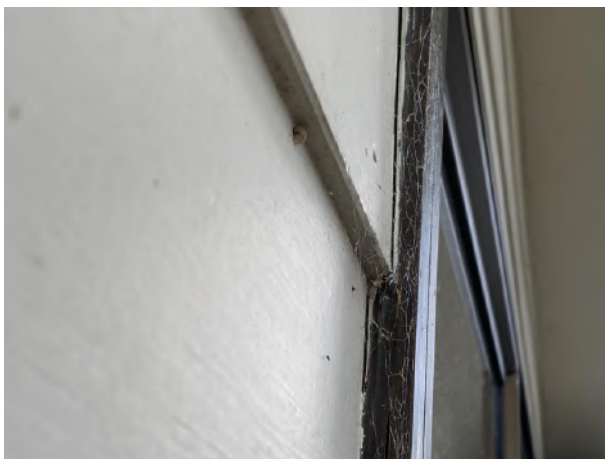


Photo 54

Rubber seal between the window and cladding is showing signs of deterioration. Recommend installing scribes to maintain weather-tightness.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

System	Type
Driveway	Concrete
Paths	Concrete
Boundary Fences	Timber and Profiled metal
Patio	Concrete
Gates	Timber framed and covering
Drainage	Gully-traps, stormwater risers, sumps
Heating.Cooling.Ventilation	Heatpump
Services	Services

Driveway

Plain concrete.

Saw cuts - Yes.

Cracking - Areas of cracking visible.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 55

Shared concrete driveway with visible cracking.

Paths

Plain concrete paths and shingle formed paths with timber edging.

Recommendations:

General upkeep and maintenance.



Photo 56

Concrete path running along the east side of the house.



Photo 57

Concrete path, running to the laundry door on the north side of the house.



Photo 58

Shingle path with concrete pavers located on the south side of the house.

Boundary Fences

Unpainted timber palings fixed to timber rails with timber posts.

Condition of cladding - Areas of rot.

Alignment - No visible issues.

Post and rail condition - Refer to photos below.

Average height - 1.8m.

Painted profiled metal fixed to timber rails with timber posts.

Condition of cladding - Areas of rot.

Alignment - No visible issues.

Post and rail condition - Refer to photos below.

Average height - 1.8m.

Recommendations:

General upkeep and maintenance, keep vegetation and soils clear of timbers as these timbers are only exterior treated and will rot if vegetation or soils are up against them.



Photo 59

Timber framed profiled metal fence located on the southern boundary.



Photo 60

Timber paling fence located on the eastern boundary.



Photo 61

Visible rot on the bottom of the timber posts on the eastern boundary fence.



Photo 62

Timber framed profiled metal fence located on the northern boundary.



Photo 63

Timber framed profiled metal fence located on the western boundary.



Photo 64

Timber post on the western boundary, has visible rot on the top.



Photo 65

The western boundary fence has a hole in the iron, on the northeast corner.



Photo 66

Visible rust along the bottom of the iron on the southern boundary fence.



Photo 67

Visible rot in the railing timbers on the southern boundary fence.



Photo 68

Iron on the southern boundary fence has come away from the bottom timber railing by the carport external door.

Patio

Tiled front entrance and plain concrete patio on the west side of the house.

Recommendations:

General upkeep and maintenance.



Photo 69

Covered concrete path leading to the front entrance, located on the east side of the house.

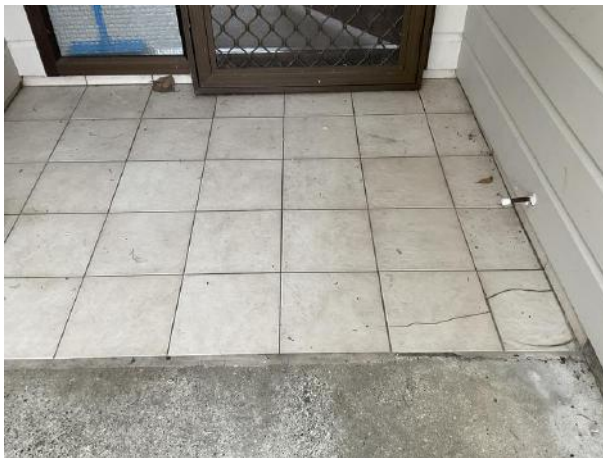


Photo 70

Tiled front door entry. Visible cracking in the tiles.



Photo 71

Concrete patio area off the dining and lounge, located on the west side of the house.



Photo 72

Timber framed roof with polycarbonate roofing over the front entrance.

Gates

Material - Timber

Recommendations:

Recommend regular lubrication of the hinges and latch to maintain full function.



Photo 73

Timber gate located on the east side of the house. Gate is locked and unable to be tested.



Photo 74

The post the gate latches onto has visible rot at the bottom.

Drainage

Drainage

Gully traps and stormwater risers were checked with no visible issues at the time of inspection.

Recommendations:

Keep vegetation and soils clear of drainage.



Photo 75

Example of a stormwater riser.



Photo 76

Gully trap located on the north side of the house.



Photo 77

Gully trap located on the north side of the house.

Heating.Cooling.Ventilation

Heatpump - Power connected at the time of inspection, full operation not tested.

Manufacturer - Mitsubishi.

Location - Lounge.

Recommendations:

Service as per manufacturer's recommendations. Clean heatpump filters every 4 - 12 weeks depending on the placement of the unit.



Photo 78

Mitsubishi electric heat pump located in the lounge.



Photo 79

Outdoor heat pump unit located on the south side of the house. Recommend clearing the shingle away from the unit as this will cause deterioration.

Services

Services/systems tested - Yes - No

If there is no service/system then it is Not applicable.

Fire warning & control systems - Yes.
Heating systems - Powered on only.
Central vacuum systems - Not applicable.
Ventilation systems - Not applicable.
Security systems - Not applicable.
Security cameras - No.
Electricity services - Yes.
Gas services - Not applicable.
Water services - Yes.
Hot water services - Yes.
Foul water services - Yes.
Grey water recycling system - Not applicable.
Rainwater recycling system - Not applicable.
Solar heating - Not applicable.
Solar power/panels - Not applicable.
Aerials & antennae - No.
Shading systems - Not applicable.
Telecommunications - No.
Lifts - Disabled access - Not applicable.
Water pump - Not applicable.
Storm-water soak pits - Not applicable.
Distribution board - No.
Header tank - Not applicable.
Communications hub - Not applicable.
Automatic garage door opener - Not applicable.
Ceiling fan - Not applicable.

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.
Distribution board location - Laundry.
Earth stake - Location - On the North side of the dwelling.
Meter box - Location - On the North side of the dwelling.
Electrical connection - Underground supply.

Water heating

Type - Mains pressure electric cylinder.

Capacity - 180L.
Approximate age - Unknown.
Seismic bracing - Strapping.
Area serviced - Entire house.
Any visible defects - None visible.

Water source - Town supply.

Sewage Disposal - Council sewer.

Recommendations:

Fire and Emergency New Zealand recommend installing a smoke alarm in every bedroom, hallway, and living area and a minimum of one smoke detector fitted to every level of two-storey homes. You may also choose to install a heat alarm in the kitchen, laundry, bathroom or garage.



Photo 80

Distribution board located in the laundry.

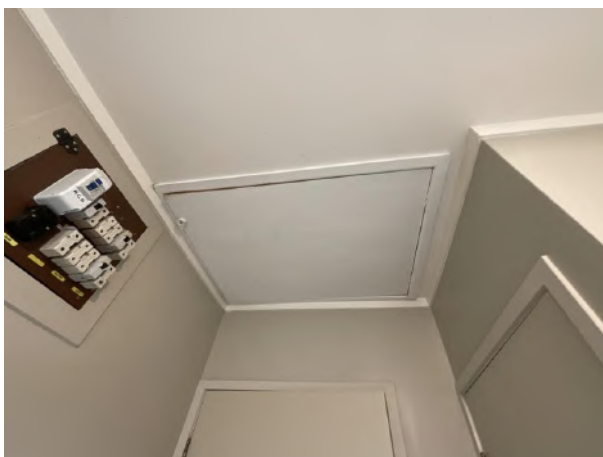


Photo 81

Manhole access located in the laundry.



Photo 82

Hot water cylinder located in the laundry cupboard.



Photo 83

Example of a smoke alarm located in the hallway, bedroom two and lounge.



Photo 84

Water toby located on the southeast boundary.



Photo 85

Metre board located on the north side of the house.



Photo 86

Clothesline located on the north side of the house.



Photo 87

Earth Peg located on the north side of the house.



Photo 88

Example of electrical sockets tested throughout the house.

CONCLUSION

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the local territorial authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major, and to maintain weathertightness.

Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident which are to be expected and can be attended to as part of normal maintenance.

It's important when carrying out maintenance or renovations to use licensed practitioners, where required. Hiring licensed builders, electricians, plumbers, gas fitters and drain layer helps make sure the work is done correctly, adheres to safety standards, and meets legal requirements. The use of unlicensed tradespersons may impact your insurance coverage and could ultimately result in higher costs if the work needs fixing later.

There are areas as noted within the report where maintenance is recommended.

Floor levels were checked using a self-levelling laser, all axis checked were within our building code of +/-10mm.

The dwelling is structurally sound and fit for purpose.