



LAND INFORMATION MEMORANDUM NO: LM2301160

Received: 25 Sep 2023

Issued: 02 Oct 2023

**Section 44A, Local Government Official Information
And Meetings Act 1987**

APPLICANT

Meyer Real Estate
Unit 2, 1151 Leigh Road
RD 5
Warkworth 0985

SITE INFORMATION

Property ID: 165404
Street Address: 315 A Western Hills Drive Whangarei 0110
Legal Description: LOT 1 DP 492667

This is a Land Information Memorandum only.

Full payment has been made for this Land Information Memorandum.

1: PROPERTY DETAILS.

- Location Map
- Deposited Plan: DP 492667
- Record of Title: 716734

This property is subject to a Consent Notice, information attached.

- Interest Number 12191561.2 – Dated 22/07/2021

2: INFORMATION IDENTIFYING EACH (IF ANY) SPECIAL FEATURE OR CHARACTERISTIC OF THE LAND CONCERNED, INCLUDING BUT NOT LIMITED TO POTENTIAL EROSION, AVULSION, FALLING DEBRIS, SUBSIDENCE, SLIPPAGE, ALLUVION, OR INUNDATION, OR LIKELY PRESENCE OF HAZARDOUS CONTAMINANTS, BEING A FEATURE OR CHARACTERISTIC THAT IS KNOWN TO THE WHANGAREI DISTRICT COUNCIL.

Whangarei District Council holds indicative information on land stability hazard for Whangārei. Information on land stability, including an interactive web tool, can be found on the WDC website. The Whangarei District Council may require site-specific investigations before granting future subdivision or building consent for the property, the level of investigation or assessment would depend on the level of stability risk of the area the property is in.

See map attached indicating this property is located within low zone and refer:

<https://www.wdc.govt.nz/Services/My-property-and-rates/Natural-hazards>

This property may be identified in a Northland Regional Council River Flood Hazard Zone.

For information refer:

<https://www.nrc.govt.nz/environment/river-flooding-and-coastal-hazards/river-flooding/river-flood-hazard-maps/>

Whangarei District Council notified Plan Change 1 - Natural Hazards (PC1) on the 31st of May 2023. The Plan Change proposes to replace the existing Natural Hazards chapter in the District Plan Operative in Part 2022 with a new Natural Hazards chapter and new rules for subdivision and land use in hazard prone areas.

Refer to map attached and for more information on the proposed plan change please visit:

<https://www.wdc.govt.nz/Services/Planning/District-Plan-changes/Current-plan-changes>

This property is in an area that has been identified to contain:

- Acid Sulphate Soil Risk

A copy of the Opus Acid Sulphate Soil guidance document dated August 2015 can be found on the Whangarei District Council website.

For information refer:

<https://www.wdc.govt.nz/Council/Council-documents/Policies/Acid-Sulphate-Soil-Planning-Policy>

Whangarei District Council holds information on the liquefaction vulnerability of the district. The site is located within an area classified as Liquefaction vulnerability category is undetermined.

The report was prepared by Tonkin & Taylor Ltd to provide WDC with a district wide liquefaction vulnerability assessment to help inform spatial planning and assessment of landuse, subdivision and building consents.

To view the report and access maps please use the following link:

<https://www.wdc.govt.nz/Services/My-property-and-rates/Natural-hazards>

Please note: To view the liquefaction layer your map scale must be greater than 1:5000.

3: INFORMATION ON COUNCIL AND PRIVATE UTILITY (SEWERAGE, WATER & STORMWATER) SERVICES.

Information relating to Council Utility Services for this property is attached.

- Pipeline Assets Map

As-Built, House Connection and/or Drainage Plan for this property from the building file is attached.

- As-Built Services Plan – From BC2100662

For further information regarding Council Water Supply please refer:

<https://www.wdc.govt.nz/Services/Water-services/Water-Supply>

Pursuant to Section 51 of the Building Act 2004 and Section 451 of the Local Government Act 1974, any future building work that encroaches upon any Council Pipe or Utility must obtain written consent from the Waste & Drainage and/or Water Services Manager/s prior to works commencing.

For information refer:

<https://www.wdc.govt.nz/Council/Council-documents/Policies/Building-Over-Public-Sewers-Policy>

4: INFORMATION RELATING TO VALUATION, LAND, AND WATER RATES. INFORMATION FROM WHANGAREI DISTRICT COUNCIL RECORDS.

Information on Valuation, Rates and Water Meter location (if applicable) for the current financial year, is attached.

Outstanding water balance as at today's date is \$0.00.

A final reading of the water meter will be required.

5: INFORMATION CONCERNING ANY PERMIT, CONSENT, CERTIFICATE, NOTICE ORDER, OR REQUISITION AFFECTING THE LAND OR ANY BUILDING ON THE LAND PREVIOUSLY ISSUED BY THE WHANGAREI DISTRICT COUNCIL OR BUILDING CERTIFIER (WHETHER UNDER THE BUILDING ACT 1991 AND/OR 2004 OR ANY OTHER ACT).

Copy of a Building Consent and Code Compliance Certificate issued for this property is attached.

- BC2100662 – New Dwelling
Building Consent – Issued 12/07/2021
Code Compliance Certificate – Issued 30/03/2023

Copy of Application (e.g. Vehicle Crossing Permit and/or Public Utility Service) for this property is attached.

- Water Meter Only
PU211275 – Approved 23/08/2021

6: INFORMATION RELATING TO THE USE TO WHICH THE LAND MAY BE PUT AND ANY CONDITIONS ATTACHED TO THAT USE.

This property is located in a General Residential Zone.

See map attached and refer to Part 3: Area Specific Matters - Chapters - Residential zones.

<https://www.wdc.govt.nz/Services/Property/Planning/Operative-District-Plan>

7: INFORMATION WHICH IN TERMS OF ANY OTHER ACT HAS BEEN NOTIFIED TO THE WHANGAREI DISTRICT COUNCIL BY ANY STATUTORY ORGANISATION HAVING THE POWER TO CLASSIFY LAND OR BUILDINGS FOR ANY PURPOSE.

Whangarei District Council is not aware of any classification attached to the land or building/s.

8: OTHER INFORMATION CONCERNING THE LAND AS WHANGAREI DISTRICT COUNCIL CONSIDERS, AT COUNCILS DISCRETION, TO BE RELEVANT.

Whangarei District Council recommends that all Whangarei District residents visit the Northland Regional Council website, <https://www.nrc.govt.nz/> for information on Civil Defence hazard response. This information includes Tsunami evacuation zones, maps and community response plans for flooding and extreme weather events etc.

Copies of site plan, floor plan and elevations are attached for your information.

A copy of a Suitability Report by RS Eng dated 28/06/2021 from BC2100662 is attached for your information.

9: INFORMATION RELATING TO ANY UTILITY SERVICE OTHER THAN COUNCILS SUCH AS TELEPHONE, ELECTRICITY, GAS AND REGIONAL COUNCIL WILL NEED TO BE OBTAINED FROM THE RELEVANT UTILITY OPERATOR.

Further information may be available from other authorities; Northpower; Spark; Vector Limited; etc.

DISCLAIMER

Land Information Memoranda (LIM) are prepared under the provisions of Section 44A of the Local Government Official Information and Meetings Act 1987. An inspection of the land or building(s) has not been completed for the purposes of preparing the LIM. It has been compiled from the records held by Whangarei District Council. The information contained in the LIM is correct at the date of issue.

A LIM is prepared for the use of the applicant and may not be able to be relied on by other parties.

Advice from an independent professional such as a lawyer or property advisor should be sought regarding the contents of this LIM.

Additional information regarding the land or buildings (such as resource consents and other permissions and restrictions) not contained in this LIM may be held by Northland Regional Council. For further information contact Northland Regional Council on (09) 470 1200, 0800 002 004 or www.nrc.govt.nz.

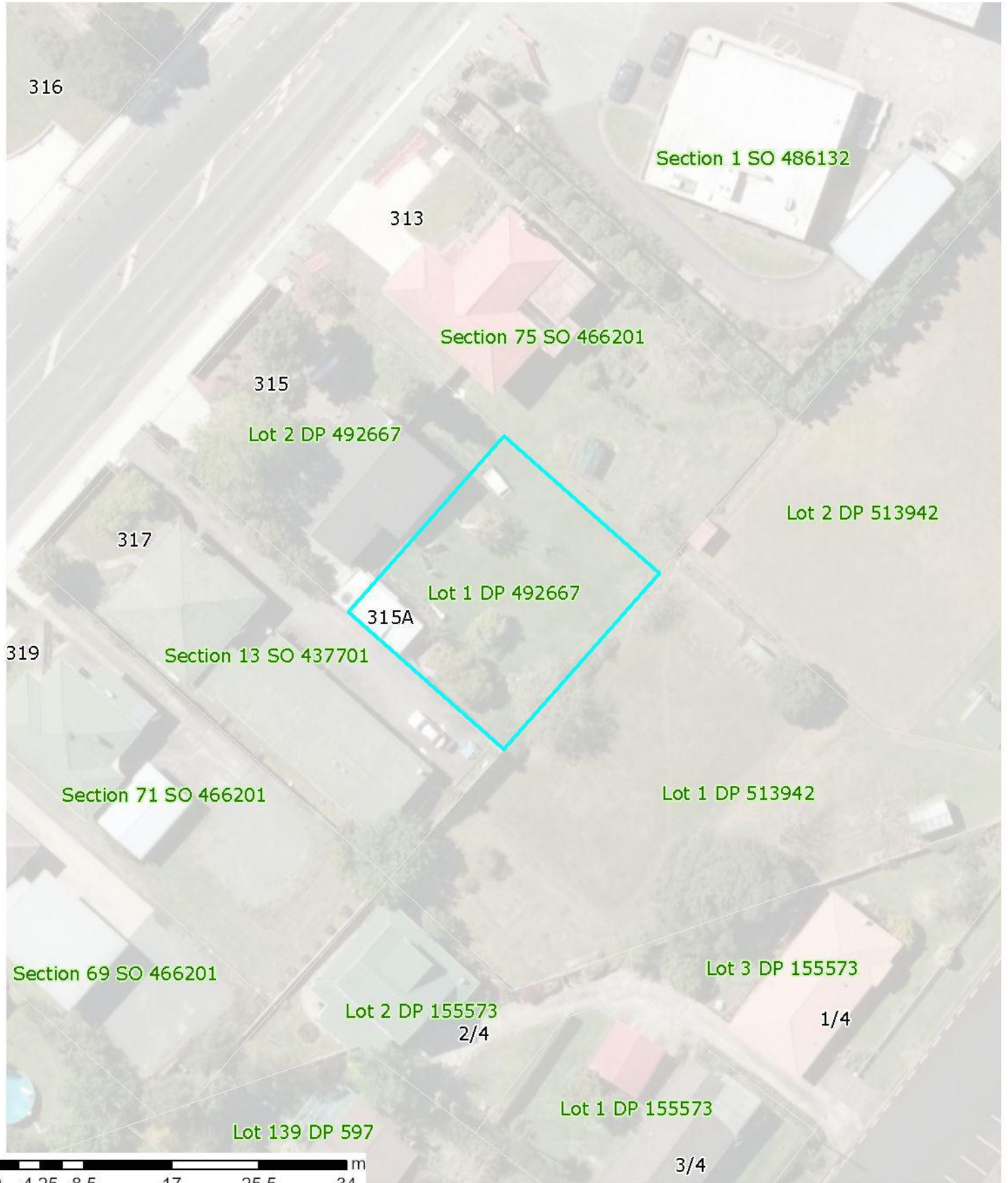
A LIM is not a suitable search of Council's records for the purposes of the National Environmental Standards (NES) for soil contamination of a potentially contaminated site.

Signed for and on behalf of Council:



Elle Swanson
Property Assessment Officer

Property Map



New Subdivisions

- Proposed Pre-223
- 223 Certificate

New subdivisions: Proposed as accepted, pre-223 and 223 Certificate with set Conditions.

2 October 2023
Scale 1:500

Land Parcel boundaries are indicative only and are not survey accurate. Area measurement is derived from the displayed geometry and is approximate. True accurate boundary dimensions can be obtained from LINZ survey and title plans.





This map was last updated in 2018. It includes New Zealand's most current publicly owned aerial imagery and is sourced from the LINZ Data Service.

2 October 2023
Scale 1:500



The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Parcel Information is sourced from the Land Information New Zealand (LINZ) Data Service. CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.



Title Plan - DP 492667

Survey Number DP 492667
Surveyor Reference 16136 Williamson Developments ah/pd
Surveyor Phillip John Lash
Survey Firm Reyburn & Bryant 1999 Ltd
Surveyor Declaration I Phillip John Lash, being a licensed cadastral surveyor, certify that:
(a) this dataset provided by me and its related survey are accurate, correct and in accordance with the Cadastral Survey Act 2002 and the Rules for Cadastral Survey 2010, and
(b) the survey was undertaken by me or under my personal direction.
Declared on 17 Aug 2021 06:06 PM

Survey Details

Dataset Description Lots 1 and 2 being a subdivision of Section 12 SO 437701
Status Deposited
Land District North Auckland
Submitted Date 17/08/2021
Survey Class Class A
Survey Approval Date 15/09/2021
Deposit Date 24/09/2021

Territorial Authorities

Whangarei District

Comprised In

RT 647435

Created Parcels

Parcels	Parcel Intent	Area	RT Reference
Area E Deposited Plan 492667	Easement		
Lot 1 Deposited Plan 492667	Fee Simple Title	0.0460 Ha	716734
Lot 2 Deposited Plan 492667	Fee Simple Title	0.0603 Ha	716735
Area A Deposited Plan 492667	Easement		
Area B Deposited Plan 492667	Easement		
Area C Deposited Plan 492667	Easement		
Area D Deposited Plan 492667	Easement		
Total Area		<hr/> 0.1063 Ha	

Schedule / Memorandum

Land Registration District

North Auckland

Plan Number

DP 492667

Territorial Authority (the Council)

Whangarei District

Council Reference

SD1000136 on P052527

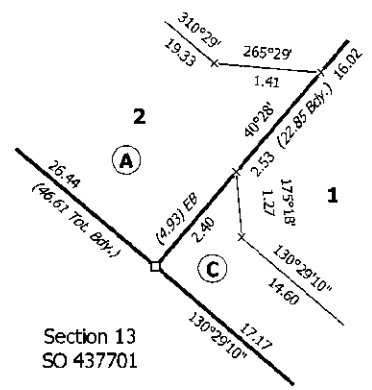
Memorandum of Easements (Pursuant to s243 Resource Management Act 1991)			
Purpose	Shown	Servient Tenement (Burdened Land)	Dominant Tenement (Benefitted Land)
Right of Way	A	Lot 2 DP 492667	Lot 1 DP 492667
Right to Drain Water, Right to Convey Electricity, Gas, Water & Telecommunications	B	Lot 2 DP 492667	Lot 1 DP 492667
Right to drain sewage	C	Lot 1 DP 492667	Lot 2 DP 492667

Memorandum of Easements in Gross (Pursuant to s243 Resource Management Act 1991)			
Purpose	Shown	Servient Tenement (Burdened Land)	Grantee
Right to Drain Sewage	D & E	Lot 1 DP 492667	Whangarei District Council

Schedule of Existing Easements			
Purpose	Shown	Servient Tenement (Burdened Land)	Created by
Right to Drain Sewage	E	Lot 1 DP 492667	11420769.4

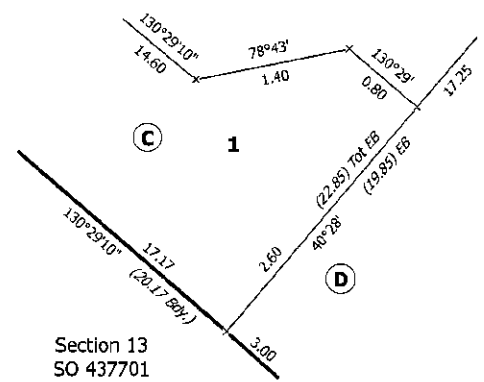


Diag. A

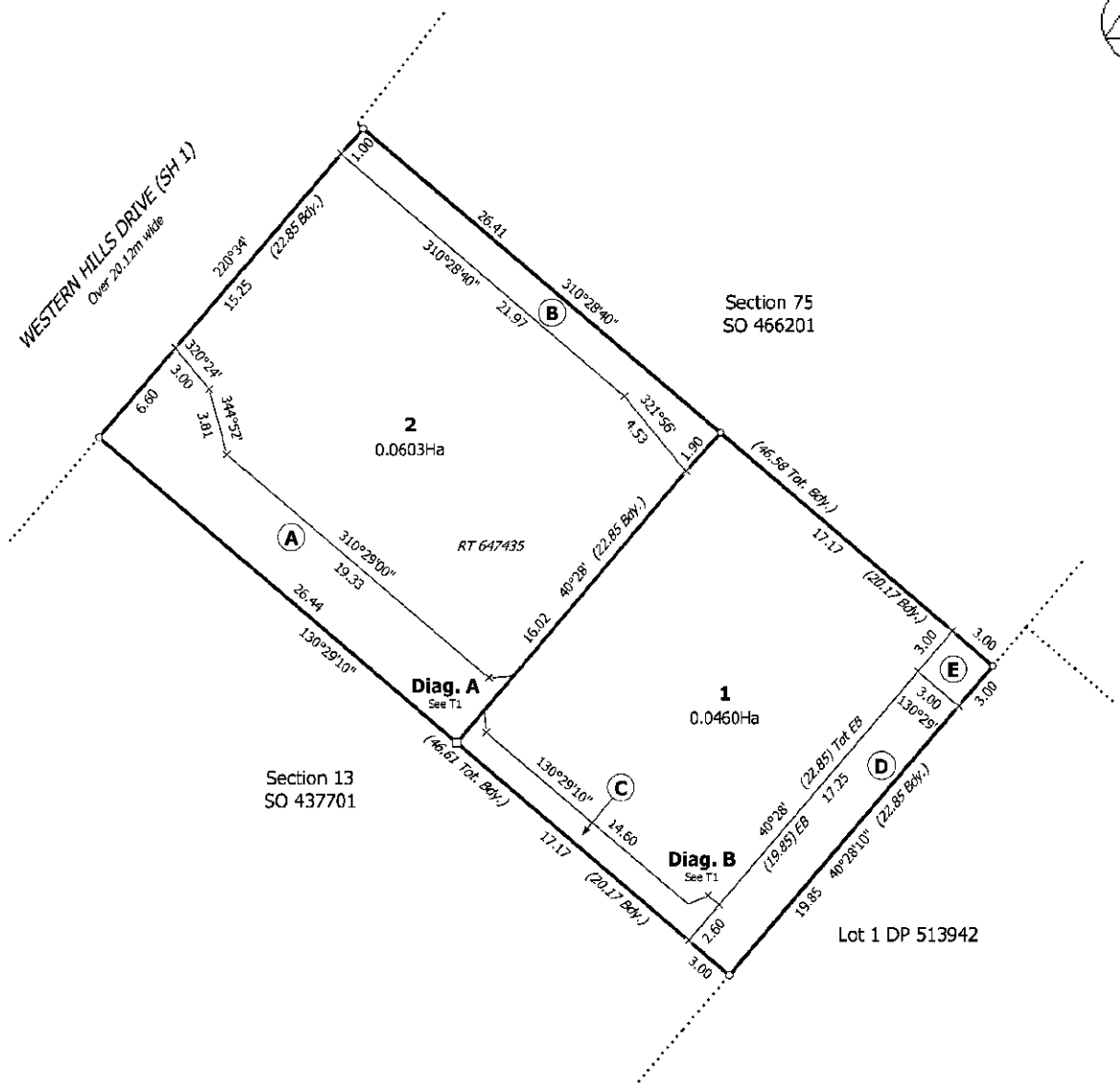


Section 13
SO 437701

Diag. B



Section 13
SO 437701



Section 13
SO 437701

Section 75
SO 466201

Lot 1 DP 513942

16136 Williamson ah/pd

T 1/1

Land District: North Auckland	Lots 1 and 2 being a subdivision of Section 12 SO 437701	Surveyor: Phillip John Lash	Title Plan DP 492667
Digitally Generated Plan Generated on: 27/10/2021 10:57am Page 3 of 3		Firm: Reyburn & Bryant 1999 Ltd	Deposited on: 24/09/2021



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **716734**
Land Registration District **North Auckland**
Date Issued 24 September 2021

Prior References
647435

Estate Fee Simple
Area 460 square metres more or less
Legal Description Lot 1 Deposited Plan 492667

Registered Owners
Williamson Developments (Whangarei) Limited

Interests

Subject to a right to drain sewage over part marked E on DP 492667 created by Easement Instrument 11420769.4 - 19.7.2019 at 9:30 am

The easements created by Easement Instrument 11420769.4 are subject to Section 243 (a) Resource Management Act 1991 12191561.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 24.9.2021 at 2:35 pm

Subject to a right to drain sewage over part marked C on DP 492667 created by Easement Instrument 12191561.3 - 24.9.2021 at 2:35 pm

Appurtenant hereto is a right of way, right to drain water, right to convey electricity, gas, water and telecommunications created by Easement Instrument 12191561.3 - 24.9.2021 at 2:35 pm

The easements created by Easement Instrument 12191561.3 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to drain sewage over part marked D & E on DP 492667 in favour of Whangarei District Council created by Easement Instrument 12191561.4 - 24.9.2021 at 2:35 pm

The easements created by Easement Instrument 12191561.4 are subject to Section 243 (a) Resource Management Act 1991

IN THE MATTER of the Resource Management Act 1991 ("the Act")

A N D

IN THE MATTER of a subdivision consent as evidenced by Land Transfer Plan No. 492667

A N D

IN THE MATTER of a Consent Notice issued pursuant to Section 221 of the Act by **WHANGAREI DISTRICT COUNCIL** ("the Council")

IT IS HEREBY CERTIFIED that the following conditions to be complied with on a continuing basis by the subdividing owner and subsequent owners were imposed by the Council as conditions of approval for the subdivision as effected by Land Transfer Plan No. 492667 ("the plan")

1. Prior to the issue of a building consent in relation to Lot 1 on the plan, the owner must provide the Council with suitable evidence / design to illustrate that stormwater attenuation will be provided for all impervious surfaces to ensure compliance with Chapter 4, and more specifically Section 4.11 of the Whangarei District Council Environmental Engineering Standards 2010 Edition, to the satisfaction of the Senior Environmental Engineering Officer.

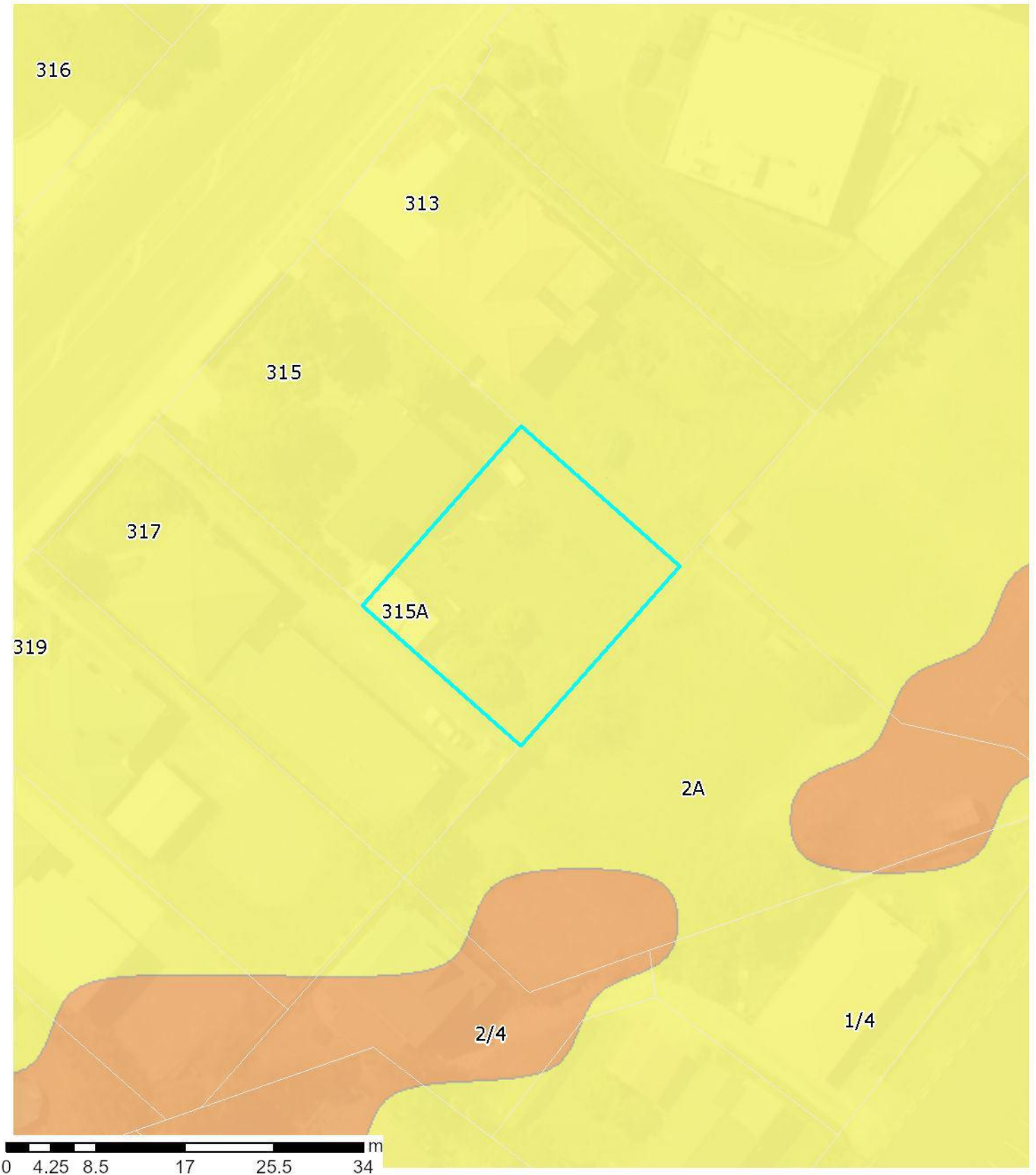
DATED at Whangarei this 22ND day of JULY 2021

SIGNED for **WHANGAREI DISTRICT COUNCIL** pursuant to the authority of the Council given pursuant to the Local Government Act 2002 and the Resource Management Act 1991




Authorised Signatory
Ricardo Giovanni Zucchetto
Post Approval RMA Officer

Land Stability



Landslide Susceptibility Zone

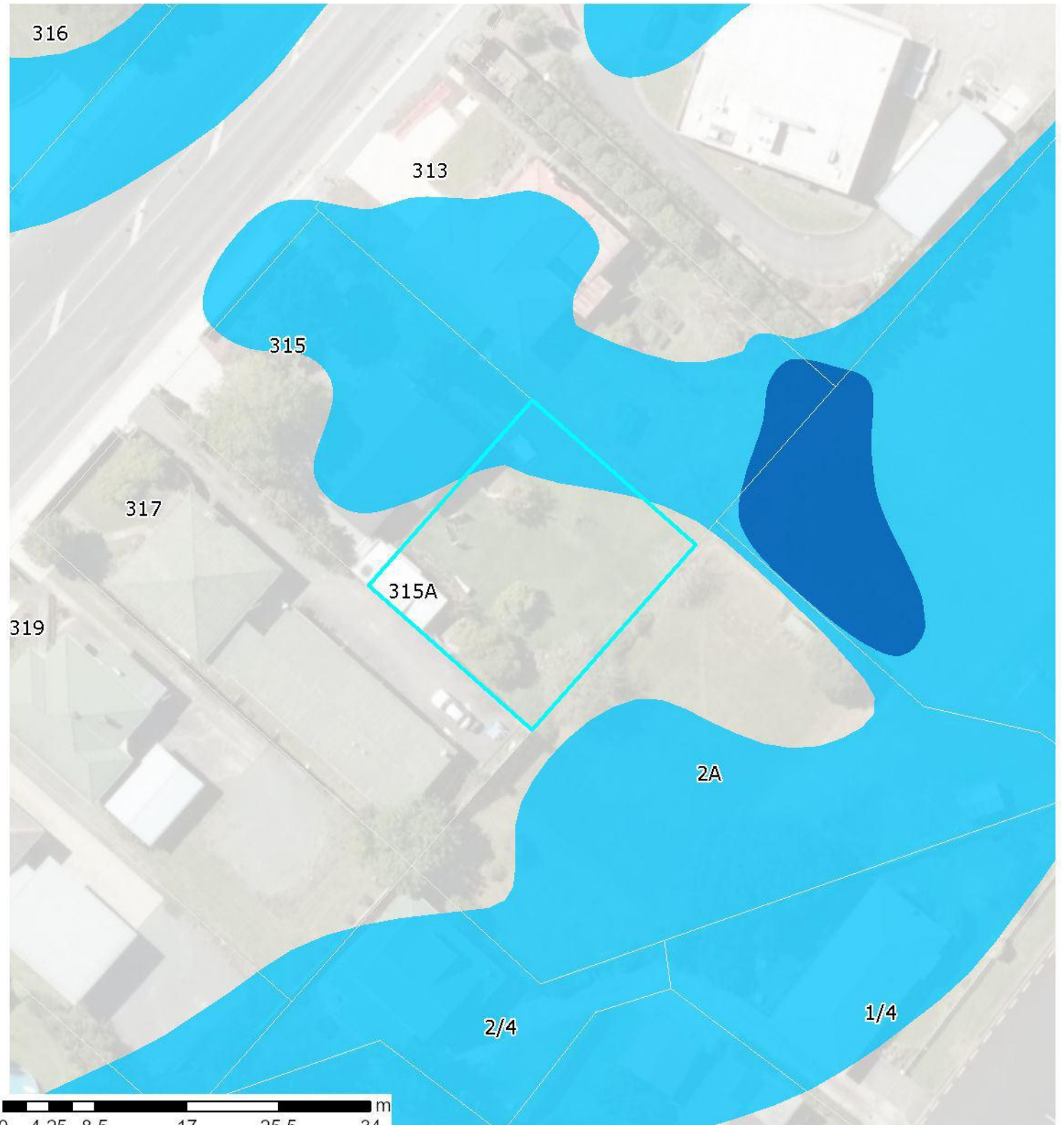
-  High
-  Moderate
-  Low

Whangārei District Council holds indicative information on land stability hazard for Whangārei. The Whangārei District Council may require site-specific investigations before granting future subdivision or building consent for the property, depending on the level of stability risk of the area the property is in. Tonkin + Taylor Ltd Landslide Susceptibility assessment report: <https://www.wdc.govt.nz/files/assets/public/documents/council/reports/hazard-reports/land-stability/landslide-susceptibility-technical-report.pdf>

2 October 2023
Scale 1:500



District Plan Change 1 - Natural Hazards Flooding



PC1 - Natural Hazards

2 October 2023

Flood Hazard Area

Scale 1:500

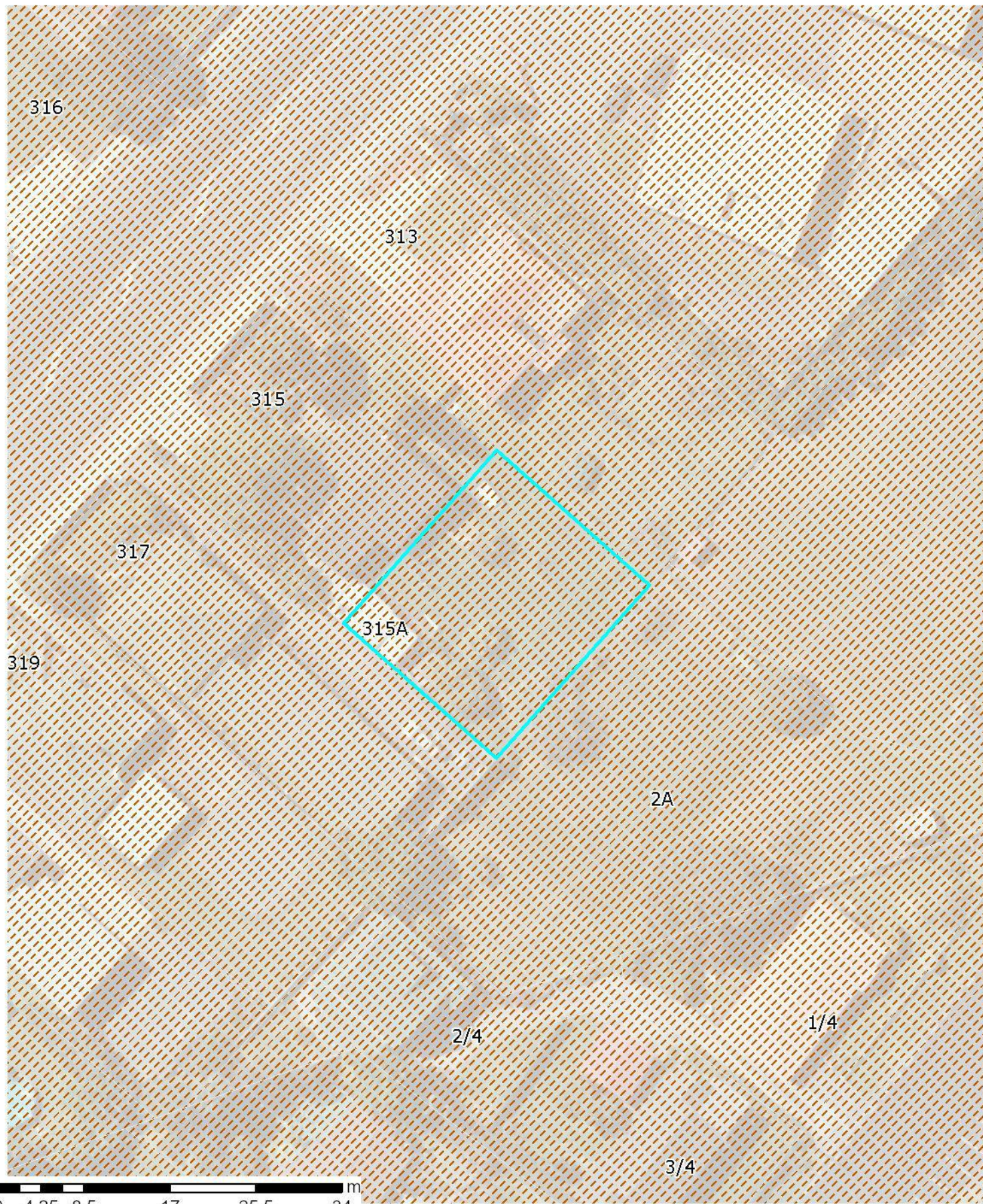
-  10 Year Flood Hazard Area
-  100 Year Flood Hazard Area





Information provided on this map forms part of Plan Change 1 – Natural Hazards.
To view the proposed maps and see how the changes may affect the property please visit:
<https://www.wdc.govt.nz/Services/Planning/District-Plan-changes/Current-plan-changes>.

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Acid Sulphate Soil (Risk/Confirmed)



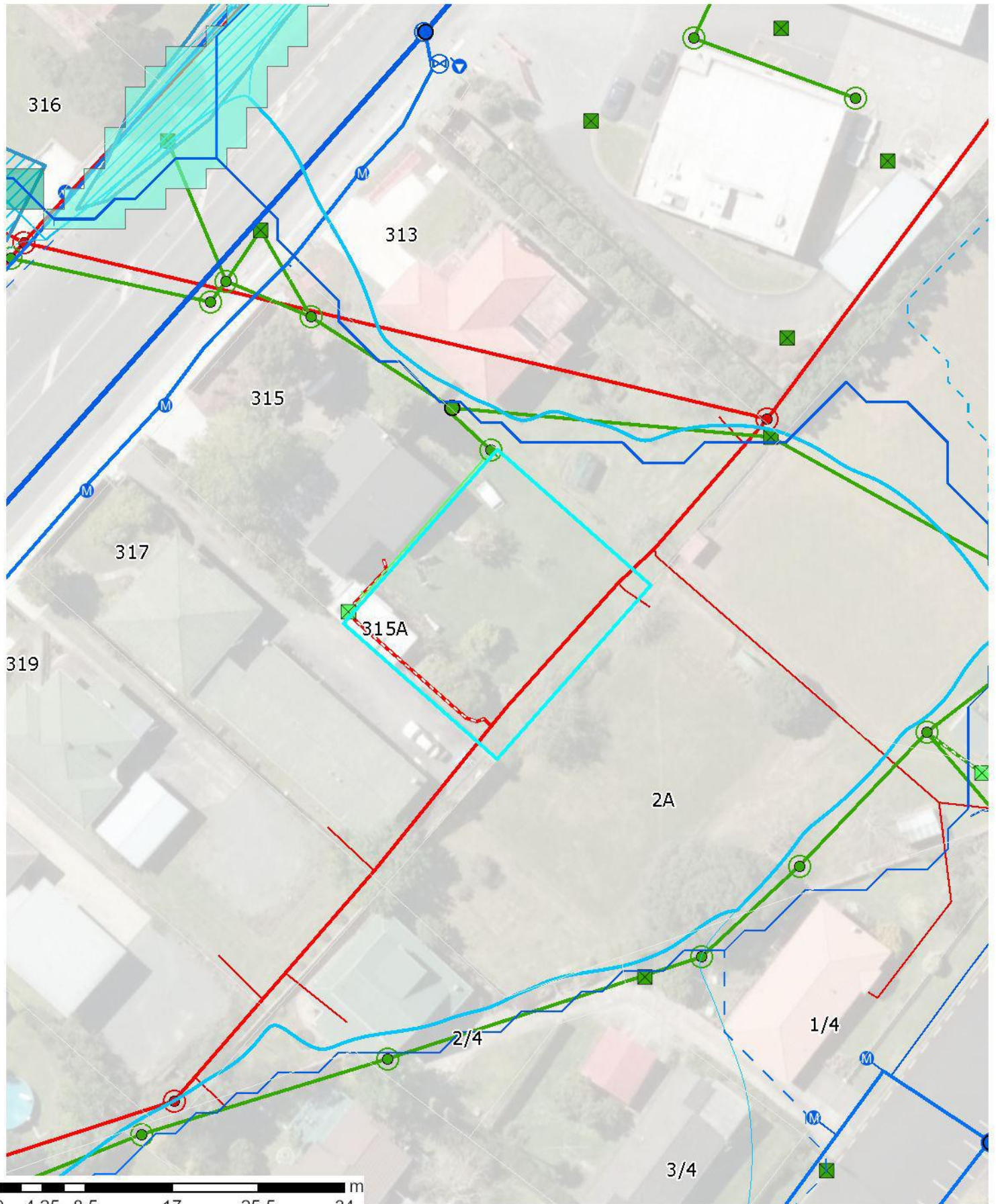
0 4.25 8.5 17 25.5 34 m

-  Confirmed Acid Sulphate Soil These soils, where present, can generate acidic groundwater and may require consideration with regard to land drainage and selection of building materials for buried structures.
-  Acid Sulphate Soil Risk

2 October 2023
Scale 1:500



Pipeline Assets



This information is generalized and shows the approximate location of the Public pipeline services.
For digging, the As-Built engineering drawings must be used to accurately locate the services.
See WDC Customer Services.

2 October 2023
Scale 1:500





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Pipeline Assets – Map Legend


Water

Water Point

Actuator

-  WDC
-  Private



Backflow Device

-  WDC
-  Private



Bore

-  WDC
-  Private



End Structure

-  WDC
-  Private


Fitting Node

-  WDC
-  Private



Hydrant

-  WDC
-  Private



Meter

-  WDC



Meter Manifold

-  WDC
-  Private

Pump


-  WDC
-  Private

Valve



-  WDC
-  Private

Water Line



Abandoned Pipe

-  WDC



Trunk Main

-  WDC
-  Private



Other Main

-  WDC
-  Private



Process Pipework

-  WDC
-  Private

Reticulation



-  WDC
-  Private

Service Line



-  WDC
-  Private

Water Area

Chamber

-  WDC
-  Private



Reservoir

-  WDC
-  Private



Stormwater

Stormwater Point



End Structure

-  WDC
-  Private



Fitting Node

-  WDC
-  Private



GPT

-  WDC
-  Private

Manhole

-  WDC
-  Private



Pump

-  WDC
-  Private

Stormwater Inlet


-  WDC
-  Private

Valve



-  WDC
-  Private

Stormwater Line



Abandoned Pipe

-  WDC



Culvert

-  WDC
-  Private



Drainage

-  WDC
-  Private



Main

-  WDC
-  Private



Process Pipework

-  WDC
-  Private

Service Line



-  WDC
-  Private

Surface Drain

-  WDC
-  Private

Stormwater Area






Chamber

-  WDC
-  Private




Stormwater Catchment and Flood Management

Overland Flow Paths 2021

Modelled Catchment Flowpaths 2021





-  0.2 ha to 0.4 ha
-  0.4 ha to 1.0 ha
-  1.0 ha to 3.0 ha
-  3.0 ha to 100.0 ha
-  100.0 ha and above

Surface Depression Ponding Areas 2021


-  0.200000 - 0.600000
-  0.600001 - 1.200000
-  1.200001 - 2.000000
-  2.000001 - 4.000000
-  4.000001 - 9.910000

Overland Flow Paths 2017

Catchment Area 2017

-  0.2 - 1.0 Ha
-  1.0 - 2.0 Ha
-  2.0 - 5.0 Ha
-  > 5.0 Ha



Depression Storage Areas 2017

-  Depression Storage Areas



Wastewater

Wastewater Point



Backflow Device

-  WDC
-  Private



Bore

-  WDC
-  Private



End Structure

-  WDC
-  Private



Fitting Node

-  WDC
-  Private



Manhole

-  WDC
-  Private



Meter

-  WDC
-  Private



Motor Control Centre

-  WDC
-  Private

Pump


-  WDC
-  Private

Valve





-  WDC
-  Private

Wastewater Line



Abandoned Pipe

-  WDC



Main

-  Rising Main (Pressure)
-  Sewer Gravity Main
-  Private
-  Other

Process Pipework



-  WDC
-  Private

Service Line



-  WDC
-  Private

Wastewater Area

Chamber

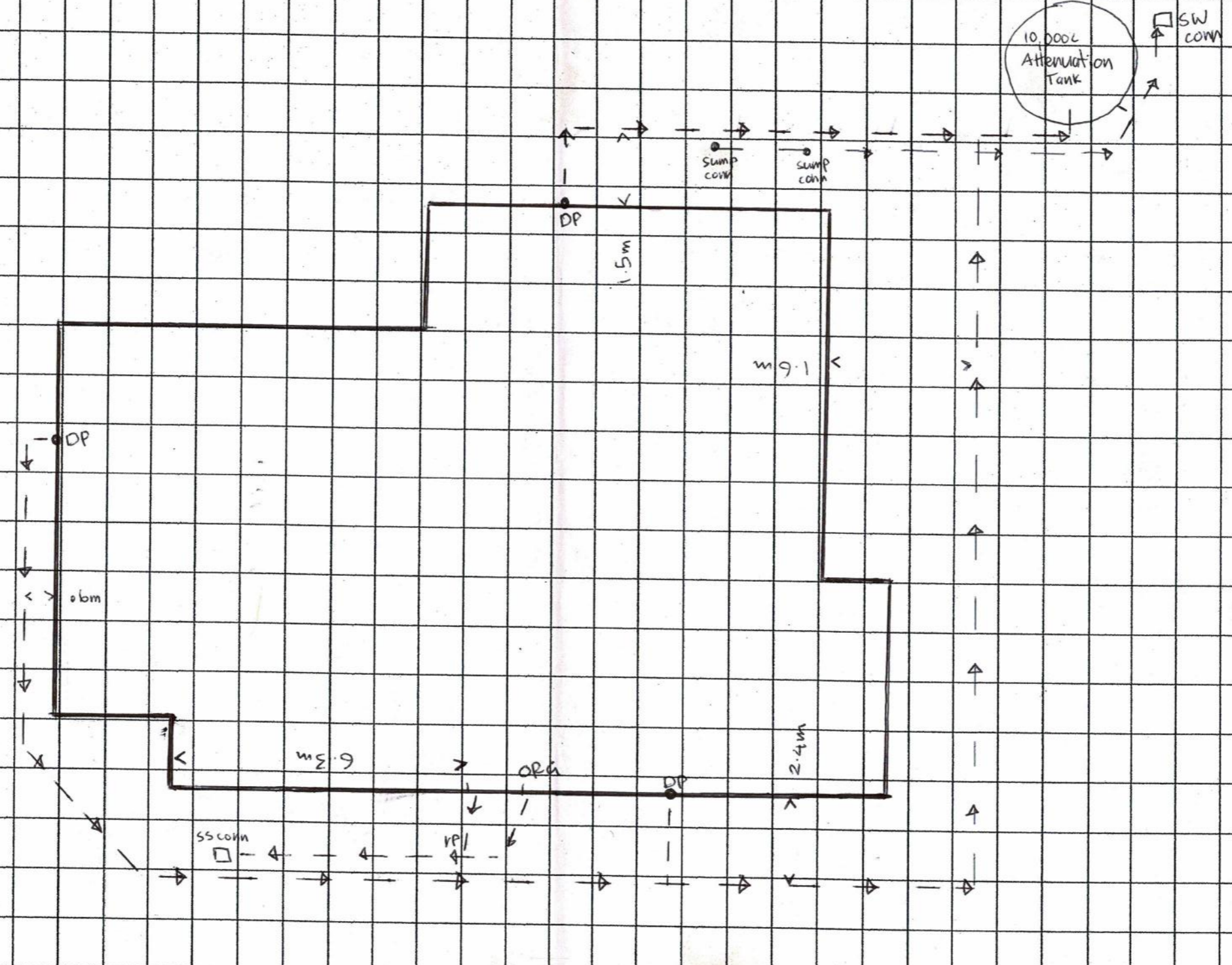
-  WDC
-  Private

Pressure Sewer System

-  Public
-  Private

PART C As-built services plan

(to be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate and attach to this sheet. Ensure that drawing numbers, etc, is noted below)



Scale not to scale
Site address _____



Whangarei District Council
Private Bag 9023, Te Mai
Whangarei 0143
Ph:0-9-430 4200
Email: mailroom@wdc.govt.nz

Rates LIM Report

As at: Monday, 2 October, 2023

Property Number 165404
Legal Description LOT 1 DP 492667
Assessment Number 0074321001
Address 315 A Western Hills Drive Whangarei 0110
Record of Title(s) 716734
Land Value \$280,000
Capital Value \$750,000
Date of Valuation 01-July-2021
Effective Date (used for rating purposes) 01-July-2023
Meter Location 0.5m from LHB, 2m from kerb;;

Rates Breakdown (up to 30 June 2024)

Rates Charge	Charge Total
General Residential	\$653.13
Sewage Disposal - Residential	\$902.00
Uniform Annual General Charge	\$701.00
Regional Council Services	\$180.61
Regional Economic Development	\$5.99
Regional Emergency & Hazard Management	\$50.50
Regional Emergency Services Rate	\$11.44
Regional Flood Infrastructure	\$36.56
Regional Land and Fresh Water Management	\$78.46
Regional Pest Management	\$88.06
Regional River Management - General Catchment Area	\$41.42
Regional Sporting Facilities	\$16.37
Regional Transport Rate	\$43.17
Annual Charge Total	\$2,808.71

Opening Balance as at 01/07/2023 **\$0.00**

Rates Instalments	Total
20/07/2023 Instalment	\$702.71
20/10/2023 Instalment	\$702.00
20/01/2024 Instalment	\$702.00
20/04/2024 Instalment	\$702.00
Rates Total	\$2,808.71

Balance to Clear **\$2,106.00**



Form 5

Building Consent No: BC2100662

Section 51, Building Act 2004

Issued: 12 July 2021

The Building

Street address of building: 315A Western Hills Drive
Whangarei 0110

Legal description of land where building is located: LOT 1 DP 492667
LLP: 128289

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

The Owner

Williamson Developments (Whangarei) Limited
646 State Highway 14
RD 9
Whangarei 0179

Phone number: N/A

Mobile number: 0212174132

Facsimile number: N/A

Email address: jdtm.williamson@xtra.co.nz

Website: N/A

Street address/registered office: 315A Western Hills Drive
Whangarei 0110

First point of contact for communications with Council/building consent authority

Contact Person

Homeworld Design and Build Limited
PO Box 391
Whangarei 0140

Phone number: 4383779

Mobile number: N/A

Facsimile number: N/A

Email address: andrews@homeworld.co.nz

Website: www.homeworld.co.nz

Building Work

The following building work is authorised by this consent:

New Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Section 90 Building Act 2004

Section 90 Building Act 2004 Inspections by Building Consent Authorities applies. This building consent is subject to the condition that agents authorised by the building consent authority are entitled at all times during normal working hours or while work is being done to inspect land on which building work is being or is proposed to be carried out and building work that has been or is being carried out on or off the building site and any building.

Nominated Inspections are carried out to ensure that the building work is in accordance with the building consent. Completed Inspections will be classified as pass, or pass subject to remedial work or failed status.

The nominated inspections required are listed in Appendix A.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

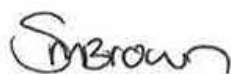
1. Appendix A.
2. Information on how to proceed with the building work.

Documentation Required for Code Compliance Certificate

1. Copies of all Records of Work from Licensed Building Practitioners used on the project.
2. Producer statement construction (PS3) is to be submitted by the certifying plumber or drain layer as appropriate for the installation of stormwater management devices confirming that the work complies with the approved building consent documents.
3. Producer statement construction review (PS4) CM2 is to be submitted by the engineer for observation of the compacted hard fill under the building platform confirming that the work aligns with the inspection records and is in accordance with NZS 4431:1989 and complies with the approved building consent documents.
4. Producer statement construction review (PS4) CM2 is to be submitted by the engineer for observation of concrete foundations/retaining walls confirming work complies with the design approved under this building consent.
5. The electrician is required to submit an energy works certificate certifying that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the Electrical Regulations.

Additional Information

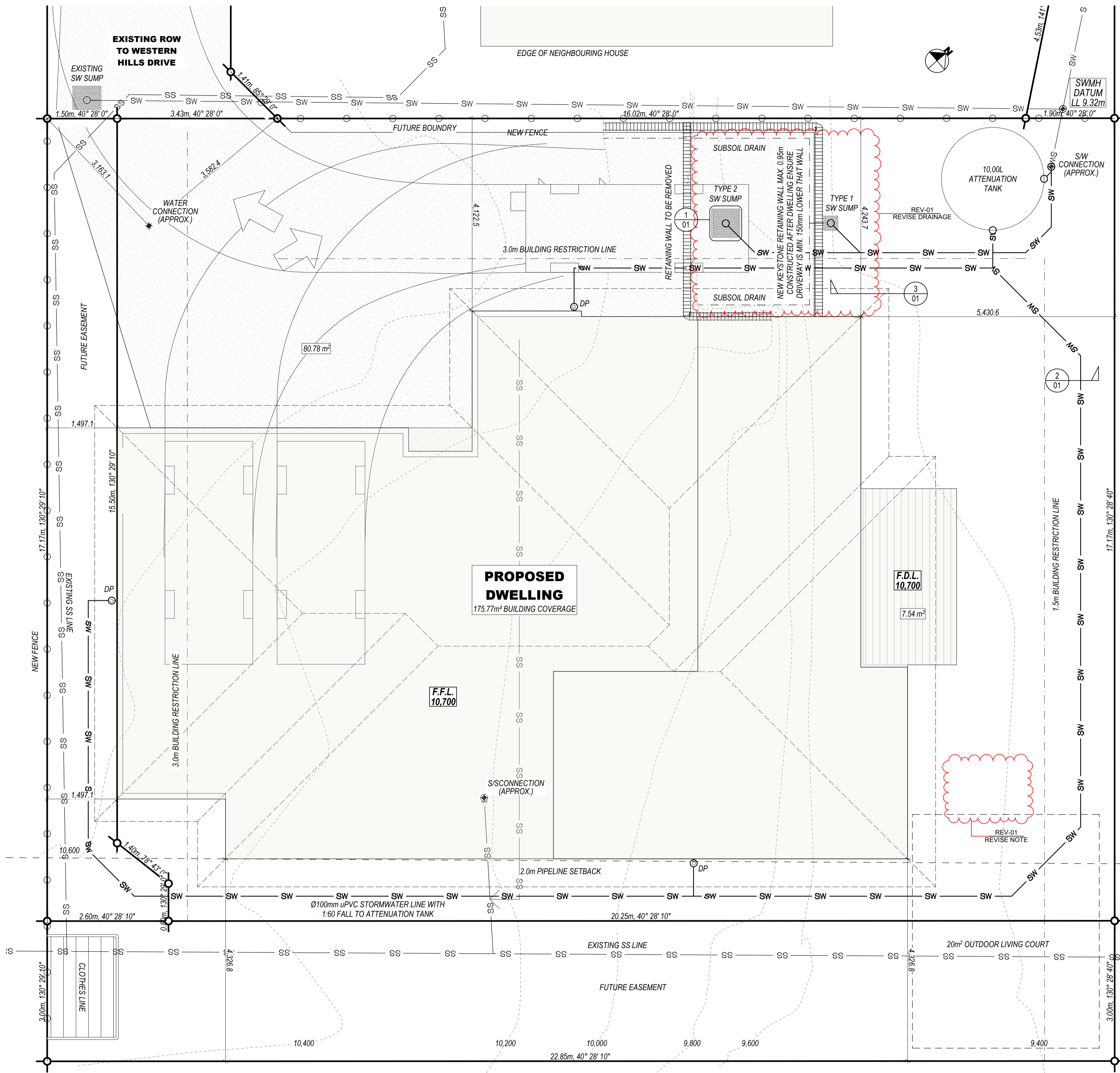
1. The applicant must control dust nuisance created by any site or building works.
2. Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.
3. Lapsing of building consent. For the purposes of S52(b) of the Building Act 2004, the period after which this consent will lapse if the building work to which it relates does not commence will be 12 months from the date of issue.



Stephanie Brown
Support Assistant – Building Processing
On behalf of Whangarei District Council

12 July 2021

Date



SITE PLAN

IMPORTANT:
THIS SET OF DRAWINGS MUST BE READ IN CONJUNCTION WITH ATTACHED.

- ENGINEERING CALCULATIONS/REPORTS.
- MANUFACTURER'S LITERATURE.
- SPECIFICATIONS.

- ALL CONSTRUCTION TO COMPLY WITH NZS 3604:2011 AND LOCAL TERRITORIAL AUTHORITY BYLAWS.
- ALL INTERNAL DOOR SIZES SHOWN ARE FOR THE ACTUAL DOOR AND ARE NOT THE TRIM SIZE.
- ALL DIMENSIONS & UNDERGROUND SERVICES TO BE CHECKED ON SITE BY CONTRACTORS BEFORE COMMENCEMENT OF ANY WORK.
- CONTRACTOR TO ENSURE ALL GROUND LEVELS & HEIGHT RESTRICTIONS ARE CORRECT AND COMPLY WITH TERRITORIAL AUTHORITY BYLAWS THROUGHOUT CONSTRUCTION.
- DO NOT SCALE FROM DRAWINGS & WORK FROM DIMENSIONS SHOWN.

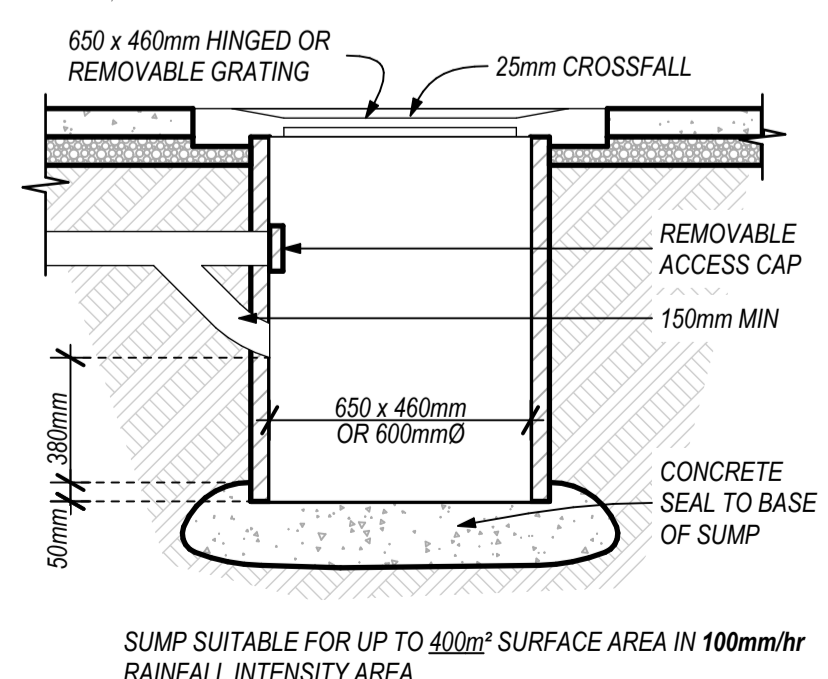
PLUMBING & DRAINAGE NOTES:

- ALL SANITARY PLUMBING AND DRAINAGE WORK MUST COMPLY WITH NZ BUILDING CODE ACCEPTABLE SOLUTION NZ STANDARD - AS/NZS 3500 PART 2.2
- ALL STORMWATER DRAINAGE WORK MUST COMPLY WITH NZ BUILDING CODE ACCEPTABLE SOLUTION E1/AS1.

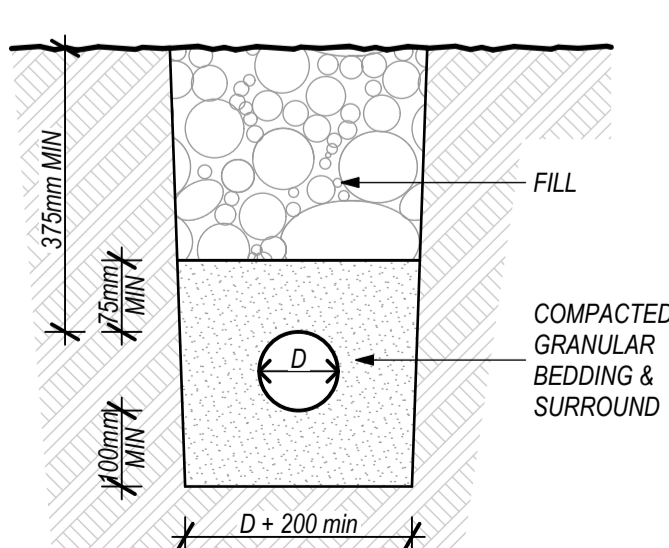
MINIMUM GRADIENT RATIO OF SANITARY DISCHARGE PIPES AND DRAINS:

- AS/NZS 3500 PART 2 DISCHARGE PIPES AND DRAINS:
Ø65-140 FALL Ø100-160 FALL

MINIMUM GRADIENT RATIO OF STORMWATER DRAINS:
NZBC E1/AS1 Ø100 - 1.60



STORMWATER SUMP DETAIL
1:20



STORMWATER TRENCH DETAIL
1:10

SITE WORKS:

- READ **RS ENG** SUITABILITY REPORT FULLY PRIOR TO UNDERTAKING ANY SITE WORKS. ALL SITE WORKS TO COMPLY WITH RECOMMENDATIONS AND CONCLUSIONS WITHIN REPORT.
- CONTOUR LINES AND SERVICE CONNECTION LOCATIONS SHOWN INDICATIVE ONLY.
- CONFIRM ALL SERVICE CONNECTION DEPTHS PRIOR TO COMMENCING ANY WORKS. ENSURE SUFFICIENT FALL FROM PROPOSED F.F.L. TO ALL CONNECTIONS.
- ALL RETAINING WALL DIMENSIONS SHOWN TO FINISHED WALL LINE ONLY. PROVIDE CUT MIN. 500mm BEHIND WALL TO ALLOW ROOM FOR WALL CONSTRUCTION.
- SEDIMENT CONTROL / MANAGEMENT:
 - PROVIDE SILT FENCE IF / WHERE REQUIRED TO PREVENT SEDIMENT RUN-OFF FROM LEAVING THE SITE.
- ACCESS / TURNING / WASHDOWN AREA TO BE METALLED PRIOR TO CONSTRUCTION.

SITE NOTES

LEGAL DESCRIPTION
LOT 1, D.P. 492667
PHYSICAL ADDRESS
315B WESTERN HILLS DRIVE, AVENUES, WHANGAREI, 0110

SITE AREA: 460m²
DWELLING SIZE: 164.50m²

SITE INFORMATION:
WIND ZONE (TO NZS3604:2011): HIGH LIVING 2
ENVIRONMENT: GENERAL RESIDENTIAL
OVERLAY/NOTABLE AREA: C
EXPOSURE ZONE: 1
EARTHQUAKE ZONE: LOW
INSTABILITY AREA: NA
FLOOD SUSCEPTIBILITY: NA

SITE COVERAGE:
DWELLING: 164.50m²
DECKS: 20.4m²
BUILDING/SITE COVERAGE AREA: 175.77m²
TOTAL SITE COVERAGE: 38.21% (40% MAX.)

IMPERVIOUS AREAS:
ROOF AREA: 204.73m²
DRIVEWAY: 71m²
TOTAL IMPERVIOUS AREA: 275.73m² (59.94%)

CONTOURS: CONTOUR LINES 0.2m

EXCAVATION REQUIRED:
(APPROX. COMPACTED VOLUME): APPROX CUT 25m³

WATER SUPPLY:
RETICULATED SITE - COUNCIL WATER CONNECTION POINT AS SHOWN ON SITE PLAN.

STORMWATER ATTENUATION:
10,000L ATTENUATION TANK PARTIALLY BURIED AS PER RS ENG SUITABILITY REPORT #17576

RETICULATED WATER SUPPLY - EXISTING FIRE HYDRANT WITHIN 135m (BUT GREATER THAN 6.0m) OF DWELLING AS PER SECTION L4 SNZ PAS 4508:2008

OVERALL SITE NOTES

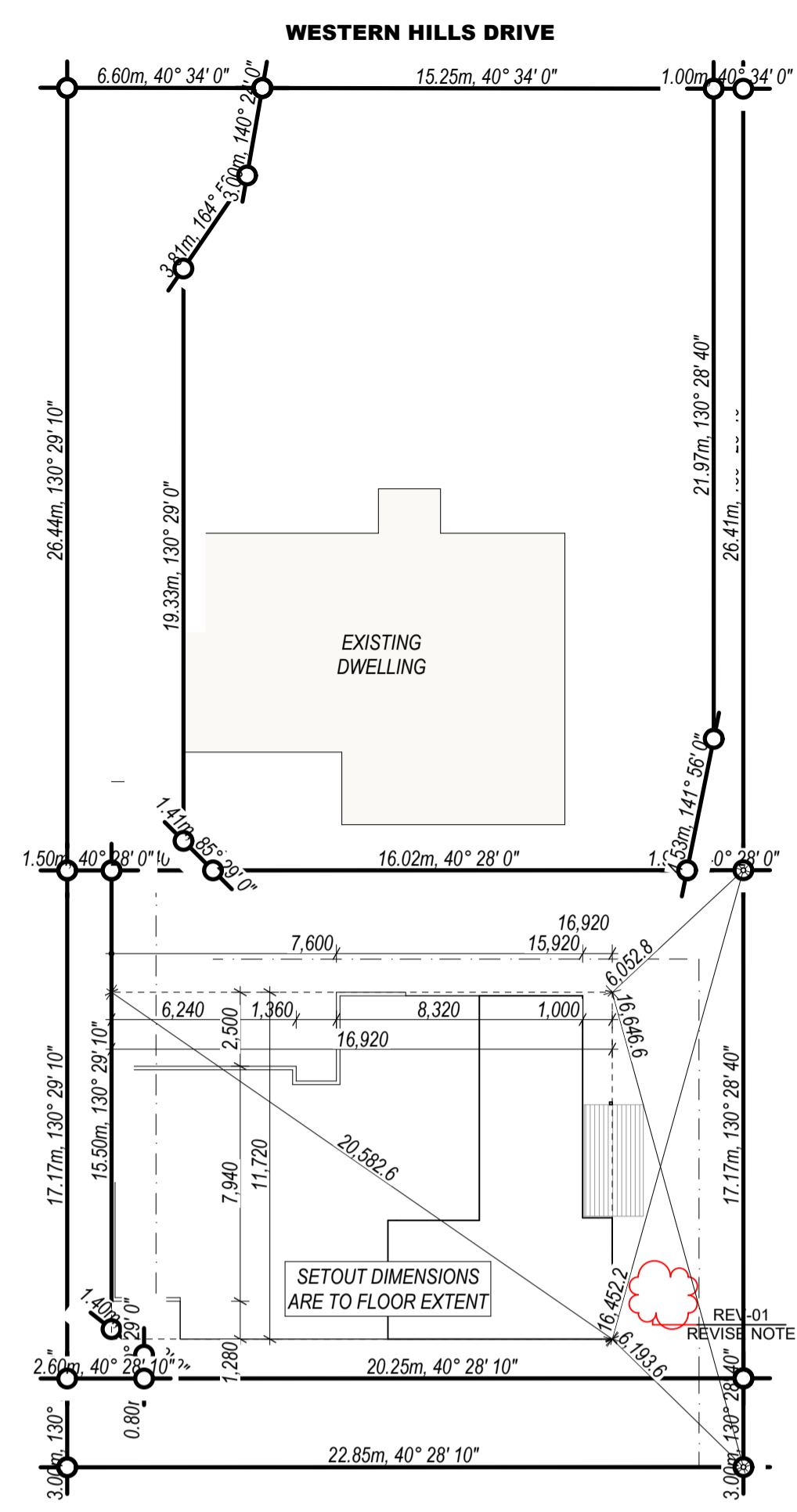
LEGAL DESCRIPTION
SECTION 12 SO 437701
PHYSICAL ADDRESS
315B WESTERN HILLS DRIVE, AVENUES, WHANGAREI, 0110

SITE AREA: 1065m²

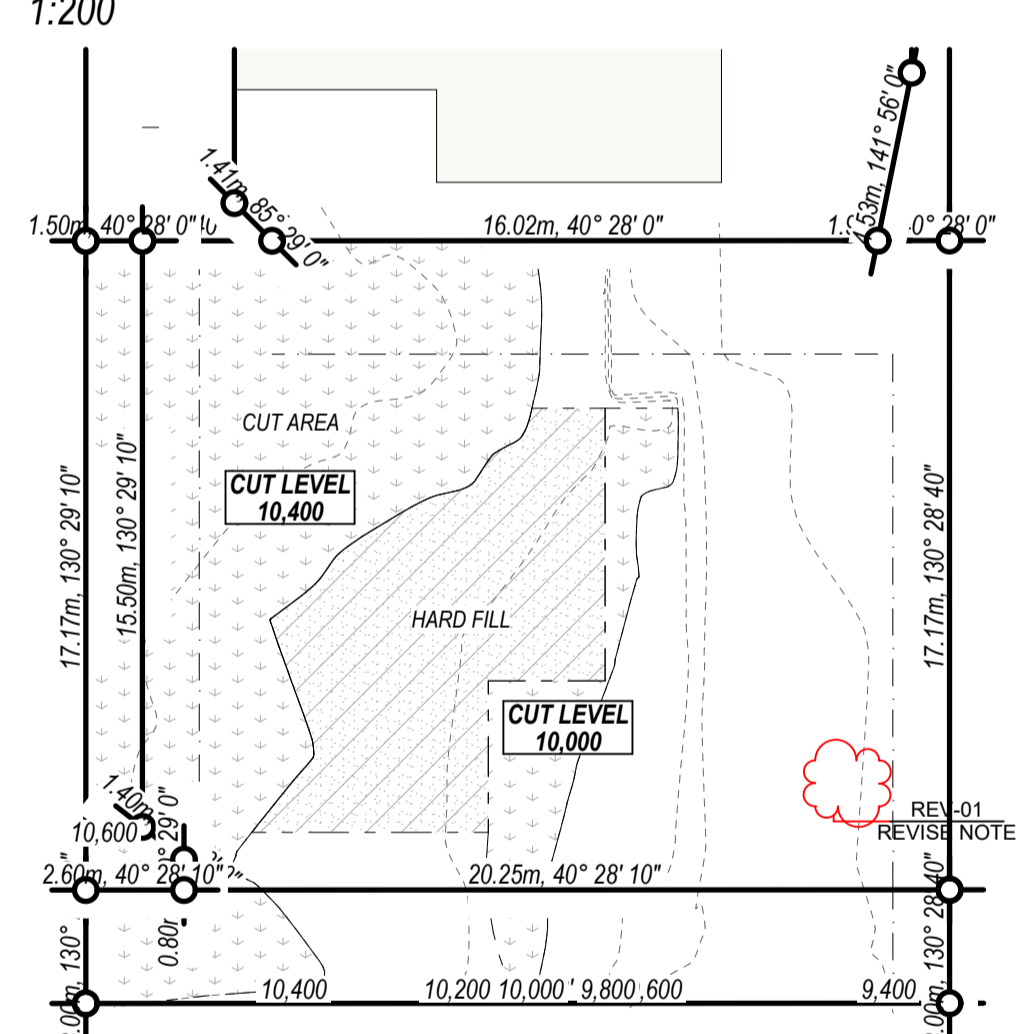
SITE INFORMATION:
WIND ZONE (TO NZS3604:2011): HIGH LIVING 2
ENVIRONMENT: GENERAL RESIDENTIAL
FUTURE ZONE: C
EXPOSURE ZONE: 1
EARTHQUAKE ZONE: LOW
INSTABILITY AREA: NA
FLOOD SUSCEPTIBILITY: NA

SITE COVERAGE:
EXISTING DWELLING: 116.60m²
PROPOSED DWELLING: 190.41m²
BUILDING/SITE COVERAGE AREA: 307.01m²
TOTAL SITE COVERAGE: 28.28%

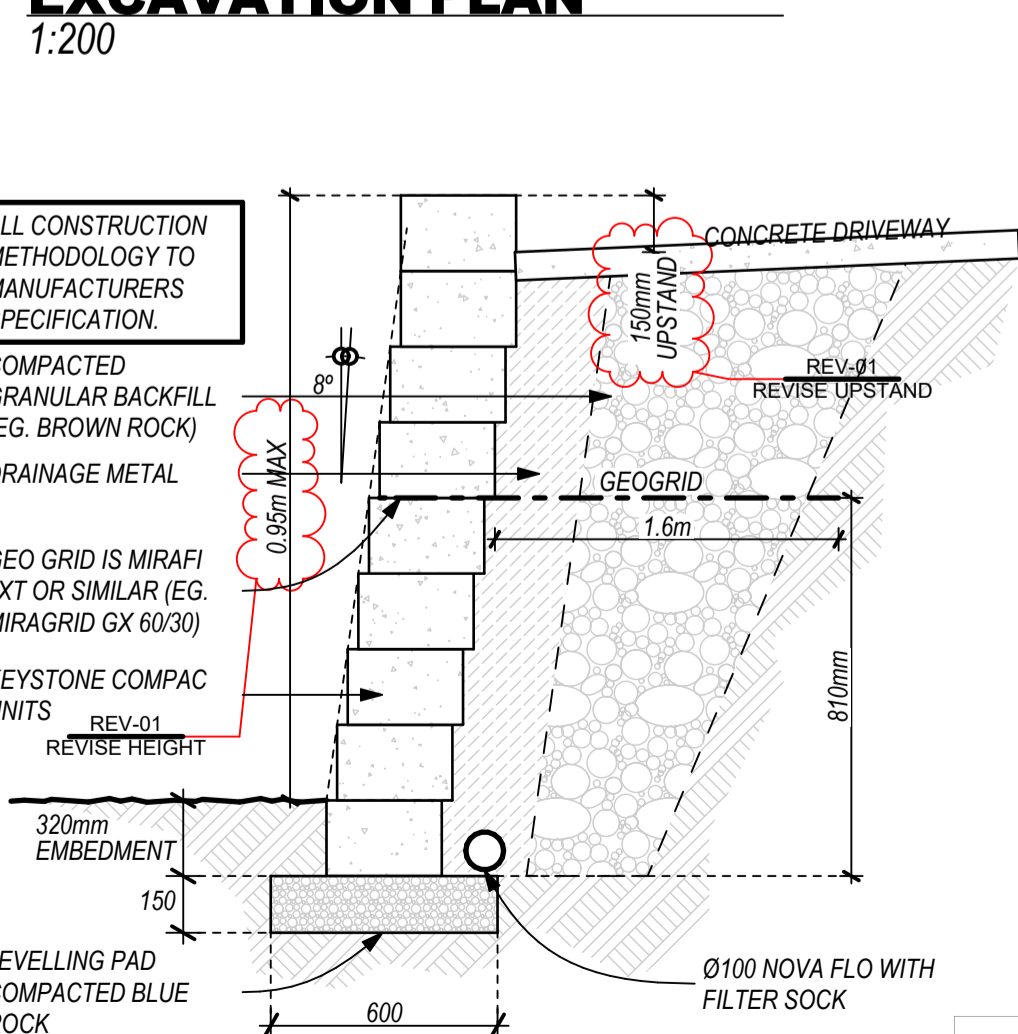
IMPERVIOUS AREAS:
EXISTING CONCRETE: 161.50m²
EXISTING ROOF AREA: 116.60m²
PROPOSED ROOF AREA: 204.73m²
PROPOSED PATHS/PATIOS: 0m²
DRIVEWAY: 71m²
TOTAL IMPERVIOUS AREA: 584.02m² (55.77%)



SITE SETOUT PLAN



EXCAVATION PLAN



KEYSTONE WALL DETAIL
1:20

TYPICAL NOTES:

- FLOORS**
- F01 (FLOOR SLAB TYPICAL)
100mm THICK 25MPa CONCRETE FLOOR SLAB, REINFORCED WITH GRADE SET2 REINFORCING MESH, WITH 30mm TOP COVER OVER 0.25mm POLYTHENE DPM OVER, 25mm SAND BUILDING OVER, 75mm MIN. COMPACTED HARDFILL LAP REINFORCING MESH MIN. 250mm BAR TO BAR
 - F02 (TYPICAL DWELLING)
KOPINE ULTRALOCK 20mm PARTICLE BOARD FLOORING LAID ON H1.2 JOISTS. EXPOL UNDERFLOOR R1.4 EPS INSULATION LAID BETWEEN JOISTS.
 - F03 (DECK)
EX 150x40mm PINE DECKING, LAID ON H3.2 JOISTS @ CRS. SHOWN ON FLOOR FRAMING PLAN.
- WALL CLADDINGS**
- W01 (PRIMARY CLADDING)
BGC 175mm NULINE PLUS WEATHERBOARDS WITH PAINTED CORNER SOAKERS OVER H3.1 TIMBER CAVITY BATTENS ON MASONS BARRICADE BUILDING WRAP ON H1.2 SGB STUDS.
 - W02 (SECONDARY CLADDING)
SELECTED 70 SERIES BRICK OVER 50mm CAVITY ON MASONS BARRICADE BUILDING WRAP ON H1.2 SGB STUDS.
 - W03 (PRIMARY SUBFLOOR CLADDING)
BGC 6mm DURASHEET WALL LINING OVER 70x45 H3.2 SGB SUB-FLOOR FRAMING BETWEEN PILES
 - W04 (DECK SUBFLOOR CLADDING)
90x25mm H3.2 HORIZONTAL BATTENS WITH MIN. 20mm GAP BETWEEN OVER 70x45 H3.2 SGB SUB-FLOOR FRAMING BETWEEN PILES
 - W00 (INTERIOR LINING)
10mm GIB LINING STOPPED TO LEVEL 4. (10mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R2.2 WALL BATTS TO EXTERIOR WALLS (EXCLUDING GARAGE).
- ROOFS**
- R01 (PRIMARY CLADDING)
COLOR TILE PRESSED METAL TILES WITH 'V' GUTTER TRIM ON H1.2 SGB TILE BATTENS OVER DRISTUD R2.4 ROOF UNDERLAY.
 - R02 (GUTTER/FASCIA)
COLORCOTE CONTINUOUS QUARTZ GUTTER ON CONTINUOUS 180 R5 COLORCOTE FASCIA, WITH Ø80 MARLEY uPVC ROUND DOWNPIPES (UNPAINTED).
- CEILING**
- C01 (INTERIOR LINING)
13mm GIB LINING FIXED TO UNDERSIDE OF CB35 STEEL ROLLFORMERS @ 800CRS MAX, STOPPED TO LEVEL 4 (13mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R3.2 BLANKET INSULATION ON CEILING BATTENS BETWEEN TRUSS BOTTOM CHORDS (EXCLUDING GARAGE).
 - C02 (SOFFIT)
4.5mm BGC SOFFIT LINING DIRECT FIXED TO UNDERSIDE OF SOFFIT FRAMING
- JOINERY**
- J01 (JOINERY)
DOUBLE GLAZED CLEAR, ALUMINIUM POWDERCOATED JOINERY.
- TIMBER TREATMENT:**
TREATMENT LEVELS TO COMPLY WITH NZBC CLAUSE B2/AS1 DURABILITY, NZS3602. TIMBER AND WOOD BASED PRODUCTS FOR USE IN BUILDING AND NZS3640 CHEMICAL PRESERVATION OF ROUND AND SAWN TIMBER.
- H1.2** ALL WALL FRAMING AND ASSOCIATED MEMBERS ROOF FRAMING, TRUSSES AND CEILING JOISTS ENCLOSED FRAMING WITHIN SKILLION / FLAT ROOFS
- H3.1** CLADDING CAVITY BATTENS
- DURABILITY**
DURABILITY OF STRUCTURAL FIXINGS FOR ZONE C FIXINGS ARE TO COMPLY WITH NZBC B2 DURABILITY AND NZS3604:2011 SECTION 4 - DURABILITY.
ALL STRUCTURAL FIXINGS IN EXPOSED ENVIRONMENT OR WITHIN 600mm OF GROUND ARE TO BE TYPE 304 OR 316 STAINLESS STEEL.
- FLASHING AND WRAP SYSTEMS**
ALL FLASHINGS, FLASHING TAPES, WRAPS, UNDERLAYS AND ASSOCIATED ACCESSORIES ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- NOTE**
ALL BOLTS SHALL HAVE 50SQ X 3MM WASHERS TO TIMBER FACES.

SHEET INDEX

NO	DATE	DESCRIPTION	DRAWN
01	21/06/21	RFI DATED 21/06/2021	AS
-	21/04/21	BUILDING CONSENT SET	AS
01	21/06/21	BUILDING CONSENT SET	AS
02	21/06/21	FLOOR/FRAMING/BRACING PLAN	AS
03	21/06/21	ELEVATIONS & WINDOW SCHEDULE	AS
04	21/06/21	FOUNDATION PLAN	AS
05	21/06/21	ROOF PLAN	AS
06	21/06/21	CROSS SECTIONS	AS
07	21/06/21	DETAILS	AS

ONLY COUNCIL STAMPED PLANS TO BE USED FOR CONSTRUCTION.
IF ANY DOUBT OVER BUILDING WORK CONSULT WITH DESIGNER.
DO NOT SCALE OFF PLANS.



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WWW.HOMEWORLD.CO.NZ

WILLIAMSON III RESIDENCE
315B, WESTERN HILLS DRIVE, AVENUES,
WHANGAREI, 0110
GPS - 35°43'24.4"S 174°18'49.7"E

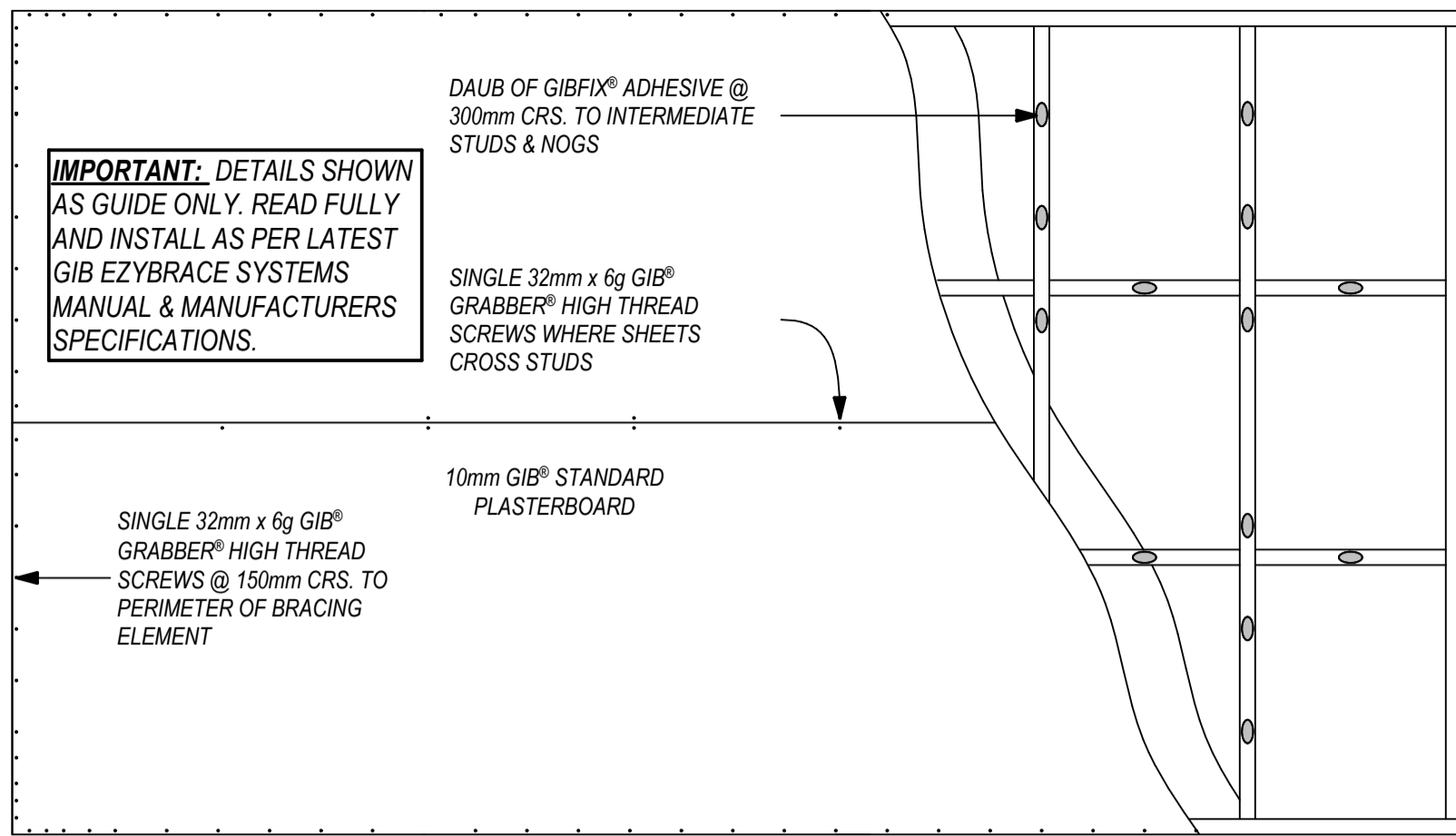
SITE PLAN

****BUILDING CONSENT****

DATE:	21/06/2021
REVISION:	01
SHEET SIZE:	A1
JOB NO:	5040ST
DRAWN:	AS
PAGE:	01 OF 07

BC2100662
APPROVED
© COPYRIGHT HOMEWORLD DESIGN & BUILD
WILLIAMSON III RESIDENCE 21/06/2021 07:22:01

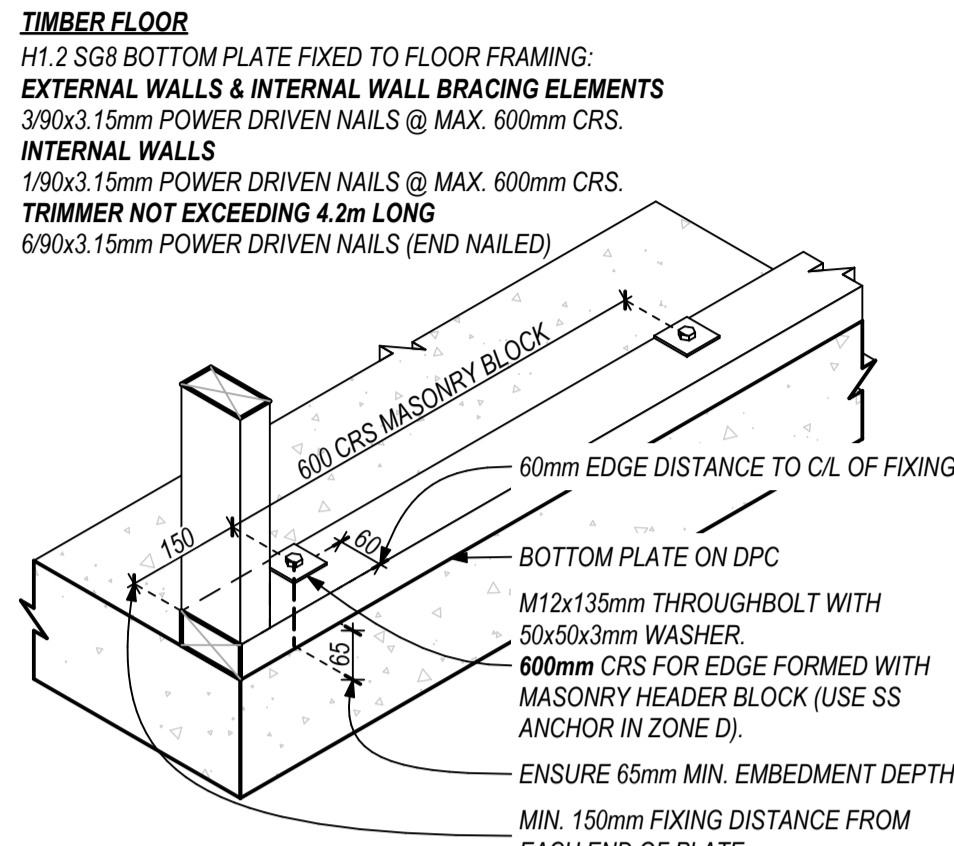
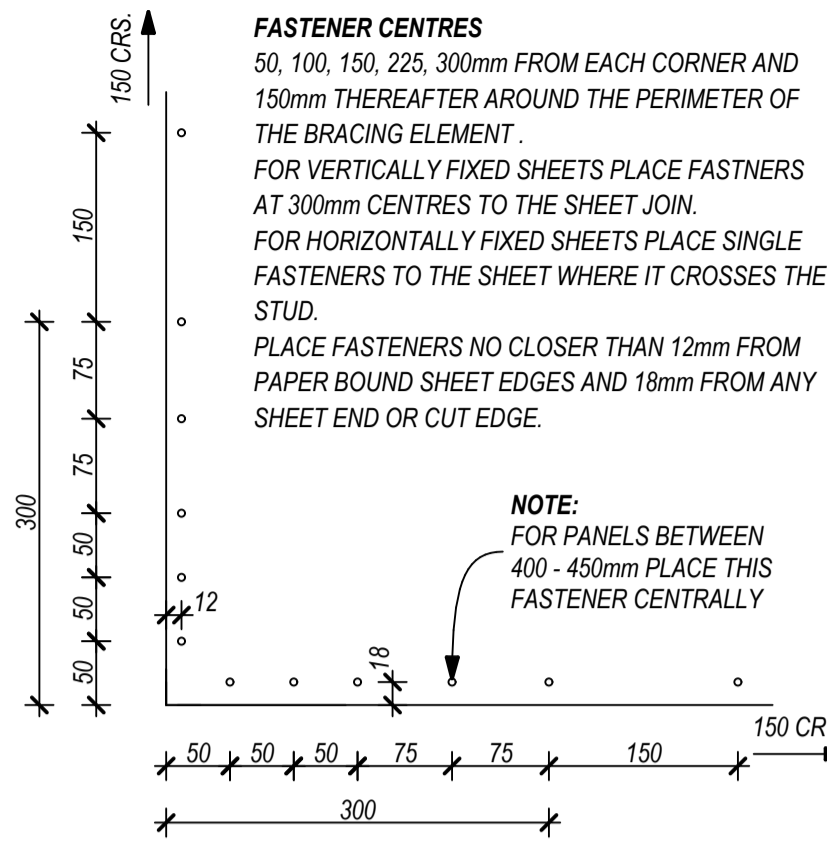
WHANGAREI DISTRICT COUNCIL BCA



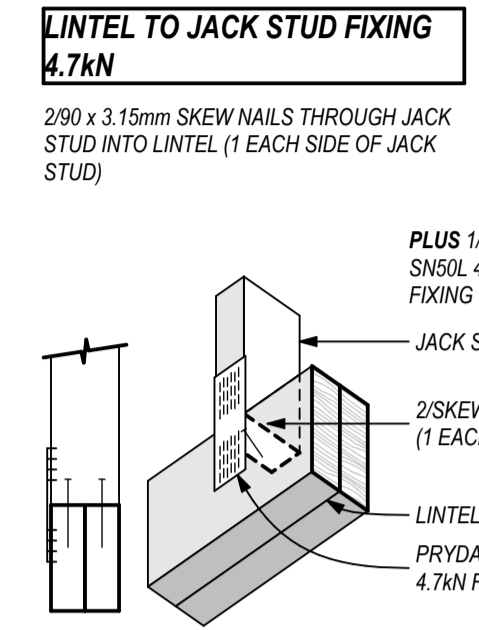
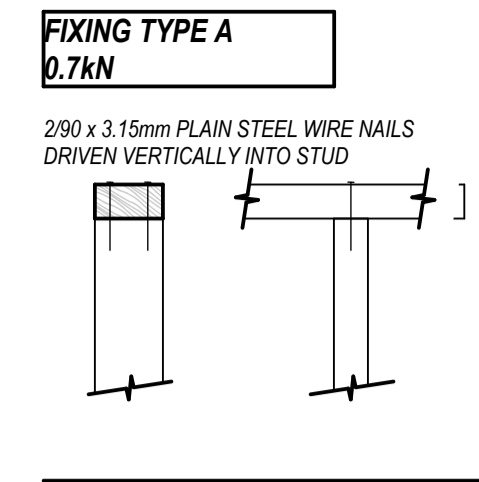
GS1-N 10mm GIB® STANDARD PLASTERBOARD MINIMUM LENGTH 400mm LINED ONE SIDE ONLY (VERTICAL OR HORIZONTAL FIXING)

GS2-NOM 10mm GIB® STANDARD PLASTERBOARD MINIMUM LENGTH 400mm LINED TWO SIDES (VERTICAL OR HORIZONTAL FIXING). **FIXED AS PER STANDARD GIB FIXING**

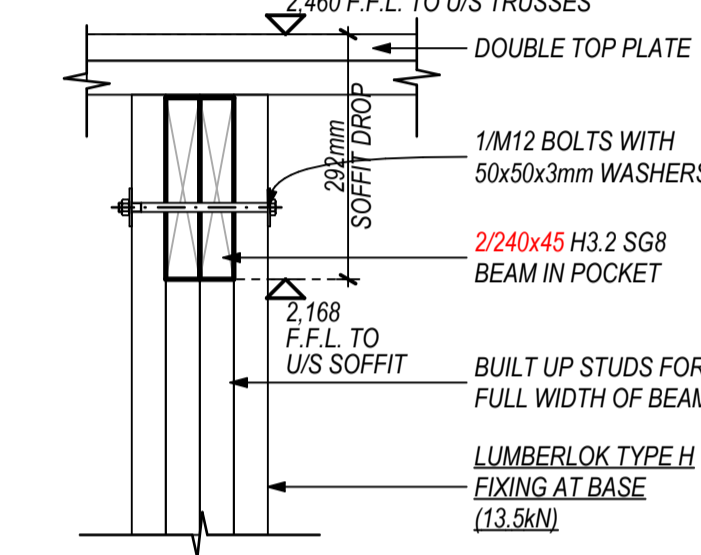
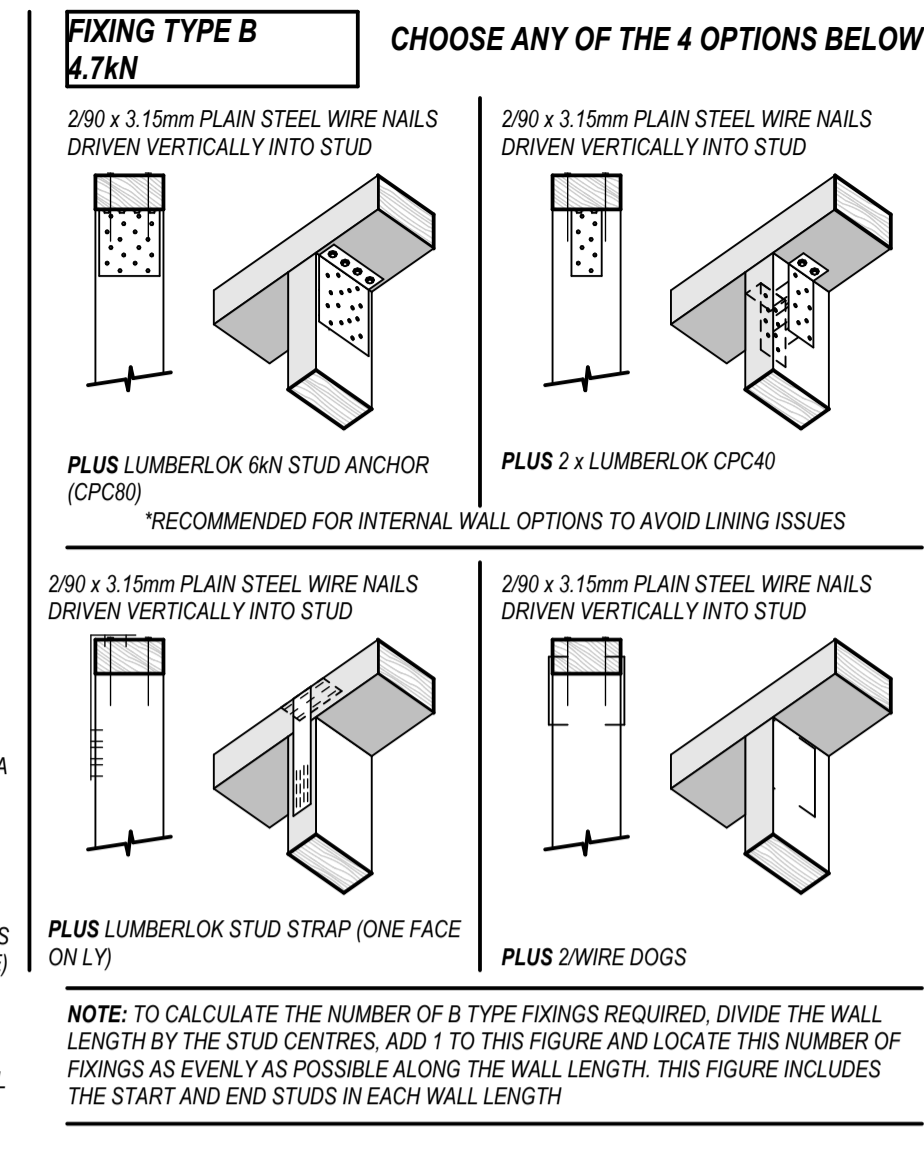
GIB BRACING DETAIL
1:20



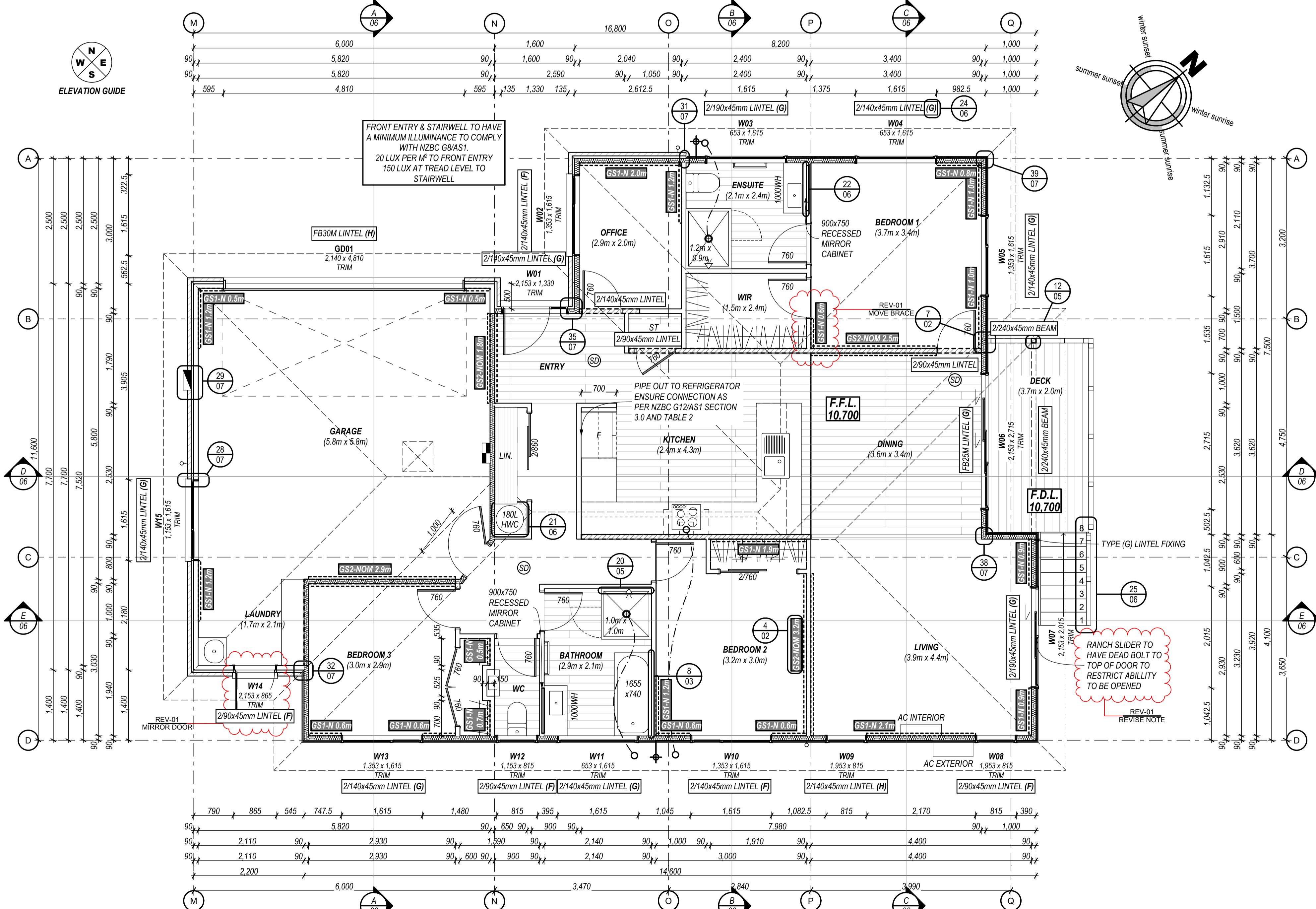
BOTTOM PLATE FIXING DETAIL
1:10



TOP PLATE FIXING DETAIL
1:10



BEAM POCKET DETAIL
1:10



FLOOR PLAN
1:50

FLOOR PLAN NOTES

FLOOR AREA/FOOTPRINT

FLOOR AREA:	125.90m²
GARAGE AREA:	38.60m²
TOTAL FLOOR AREA:	164.50m²

WET AREAS WATERPROOFING SYSTEM OPTIONS.
ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURER'S PRODUCT DETAILS. PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED. USE GIB AQUALINE ON WET AREA WALLS AND CEILINGS.

INTERNAL WET AREAS:
ALL TIMBER TO WALLS IN WET AREAS TO BE LINED WITH 10mm GIB AQUALINE

SHOWER ENCLOSURE SHALL BE CONTINUOUS FROM FLOOR LEVEL OR TOP OF UPSTAND TO MIN. 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 300mm ABOVE THE SHOWER ROSE

CONFIRM THE LOCATION OF THE FOLLOWING WITH OWNER PRIOR TO INSTALLATION:

- CEILING HATCH/ACCESS - CHECK HEAD HEIGHT FOR ACCESS
- FLOOR COVERINGS - CONFIRM LOCATION, EXTENT AND DIRECTION OF FLOOR COVERINGS SHOWN
- METER BOX & DISTRIBUTION BOARD
- EXTERIOR TAPS

INTERIOR DOORS
TYPICAL DOORS:
1980mm PAINT QUALITY HOLLOW CORE DOORS WITH 18mm PAINT QUALITY DOOR JAMBS AND WINDSOR CELTO SATIN CHROME LEVER HANDLES UNLESS STATED OTHERWISE

CUPBOARD SLIDERS
PROVIDE 2.05mm TRIMMER HEIGHT TO ALLOW SELECTED SLIDER HARDWARE. PACK DOWN TO SUIT IF REQUIRED

INSULATION
CEILING INSULATION: R3.2 BLANKET INSULATION ON CEILING BATTENS BETWEEN TRUSS BOTTOM CHORDS (EXCLUDING GARAGE).
WALL INSULATION: R2.2 WALL BATTS TO EXTERIOR WALLS (EXCLUDING GARAGE).
SUBFLOOR INSULATION: EXPOL UNDERFLOOR R1.4 60mm EPS INSULATION LAID BETWEEN FLOOR JOISTS

KITCHEN LAYOUT SHOWN INDICATIVE ONLY.
CONFIRM LAYOUT WITH KITCHEN MANUFACTURER AND CLIENT PRIOR TO PLUMBING FITOUT

FLOOR FINISHES
HATCHING SHOWN INDICATING FLOORING FINISH INDICATIVE ONLY. CONFIRM LOCATION AND EXTENT WITH OWNER

VANITIES
PIPE ALL VANITIES FOR WALL-HUNG

STAIRS/STEPS:
ALL STAIRS TO BE AS PER MAIN PRIVATE TO NZBC D1 FIG. 11 MAX. RISE: 190mm (ENSURE RISES ARE OF EQUAL HEIGHT)
MIN. TREAD: 255mm + 25mm PROJECTION (280mm TREAD)
ENSURE MIN. 1/4 HANDRAIL 900mm ABOVE PITCH LINE FOR ANY STAIR WITH 3 OR MORE STEPS

ACCESS (DECKING)
APPLY NON-SKID PAINT OR SUITABLE ALTERNATIVE TO ACCESS DECKING IN ACCORDANCE WITH SECTION 2 / TABLE 2 NZBC D1.

VERANDAH BEAMS
WHERE VERANDAH BEAMS CONNECT TO WALL FRAMING, ENSURE BEAM EXTENDS 4 STUDS MIN. (180mm) INTO THE WALL TO ALLOW LUMBERLOK LINTEL FIXING BEYOND THE ADJOINING WALL.

KEY:

- WARDROBE SHELVES (1/SHELF WITH RAIL)
- LIN. LINEN CUPBOARD 5 FULL DEPTH SHELVES
- ST. STORAGE CUPBOARD - SINGLE SHELF
- "THE HATCH" 635x535mm CEILING ACCESS**
- VINYL FLOORING **
- TIMBER DECKING
- EXTERIOR WATER TAP **
- POWER METER BOX **
- POWER DISTRIBUTION BOARD **
- SMOKE ALARM - TO COMPLY WITH NZBC F7
- INSULATED WALL
- HATCH INDICATES LOCATION OF INTERIOR LOAD BEARING WALL
- MECHANICAL EXTRACT VENTED TO SOFFIT
- ** CONFIRM LOCATION WITH OWNER PRIOR TO INSTALLATION

BRACING / LINTEL / FRAMING NOTES

STUD SIZES: (UNLESS NOTED ON THE PLAN)

EXTERIOR WALLS: (TO HIGH WIND ZONE):
90 x 45mm H1.2 Sg8 STUDS @ 600mm CRS.
NOGS: ALL NOGS @ 800mm MAX. CRS.

INTERIOR WALLS:
90 x 45mm H1.2 Sg8 STUDS @ 600mm CRS.
ALL NOGS @ 800mm MAX. CRS.

LINTEL FRAMING/FIXING:
ALL LINTELS TO BE H1.2 Sg8 UNLESS STATED OTHERWISE. FIX LINTELS AS DETAILED BY LUMBERLOK LINTEL FIXING DETAILS ON SHEET 06 AS REFERENCED FROM BRACING/LINTEL PLAN. ALLOW TO PACK OUT ALL LINTELS TO SUIT 140mm STUDS

BRACING:
INSTALL & FIX ALL BRACING IN ACCORDANCE WITH 'GIB EZYBRACE SYSTEMS' SPECIFICATION AND INSTALLATION MANUAL AUG 2016
BOTTOM PLATE TO BE FIXED TO STUDS FOR BRACING ELEMENTS IN ACCORDANCE WITH GIB BRACING MANUAL.

TOP PLATES:
TOP PLATE FIXINGS TO BE TYPE 'B' TO ALL EXTERIOR WALLS AND LOAD BEARING INTERIOR WALLS, AS PER DETAIL ON THIS SHEET.
INTERIOR NON-LOAD BEARING WALLS TO BE TYPE 'A' FIXING WITH 2.90 x 3.15 DIA. PLAIN STEEL WIRE NAILS DRIVEN VERTICALLY INTO STUD, AS PER DETAIL ON THIS SHEET.

TYPICAL NOTES:

FLOORS

- F01 (FLOOR SLAB TYPICAL)
100mm THICK 25MPa CONCRETE FLOOR SLAB, REINFORCED WITH GRADE SET2 REINFORCING MESH, WITH 30mm TOP COVER OVER 0.25mm POLYTHENE DPM OVER. 25mm SAND BLINDING OVER. 75mm MIN. COMPACTED HARDFILL LAP REINFORCING MESH MIN. 250mm BAR TO BAR
- F02 (TYPICAL DWELLING)
KOPINE ULTRALOCK 20mm PARTICLE BOARD FLOORING LAID ON H1.2 JOISTS. EXPOL UNDERFLOOR R1.4 EPS INSULATION LAID BETWEEN JOISTS.
- F03 (DECK)
EX 150x40mm PINE DECKING, LAID ON H3.2 JOISTS @ CRS. SHOWN ON FLOOR FRAMING PLAN.

WALL CLADDINGS

- W01 (PRIMARY CLADDING)
BGC 175mm NULINE PLUS WEATHERBOARDS WITH PAINTED CORNER SOAKERS OVER H3.1 TIMBER CAVITY BATTENS ON MASON'S BARRICADE BUILDING WRAP ON H1.2 Sg8 STUDS.
- W02 (SECONDARY CLADDING)
SELECTED 70 SERIES BRICK OVER 50mm CAVITY ON MASON'S BARRICADE BUILDING WRAP ON H1.2 Sg8 STUDS.
- W03 (PRIMARY SUBFLOOR CLADDING)
BGC 6mm DURASHEET WALL LINING OVER 70x45 H3.2 Sg8 SUB-FLOOR FRAMING BETWEEN PILES
- W04 (DECK SUBFLOOR CLADDING)
90x25mm H3.2 HORIZONTAL BATTENS WITH MIN. 20mm GAP BETWEEN OVER 70x45 H3.2 Sg8 SUB-FLOOR FRAMING BETWEEN PILES
- W00 (INTERIOR LINING)
10mm GIB LINING STOPPED TO LEVEL 4. (10mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH)
R2.2 WALL BATTS TO EXTERIOR WALLS (EXCLUDING GARAGE).

ROOFS

- R01 (PRIMARY CLADDING)
COLORTILE PRESSED METAL TILES WITH 'V' RIDGE TRIM ON H1.2 Sg8 TILE BATTENS OVER DRISTUD RU24 ROOF UNDERLAY.
- R02 (GUTTER/FASCIA)
COLORCOTE CONTINUOUS QUARTZ GUTTER ON CONTINUOUS 180 R5 COLORCOTE FASCIA, WITH 980 MARLEY uPVC ROUND DOWNPIPES (UNPAINTED).

CEILING

- C01 (INTERIOR LINING)
13mm GIB LINING FIXED TO UNDERSIDE OF CB35 STEEL ROLLFORMERS @ 800CRS MAX. STOPPED TO LEVEL 4 (13mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R3.2 BLANKET INSULATION ON CEILING BATTENS BETWEEN TRUSS BOTTOM CHORDS (EXCLUDING GARAGE).
- C02 (SOFFIT)
4.5mm BGC SOFFIT LINING DIRECT FIXED TO UNDERSIDE OF SOFFIT FRAMING

JOINERY

- J01 (JOINERY)
DOUBLE GLAZED CLEAR, ALUMINIUM POWDERCOATED JOINERY.

TIMBER TREATMENT:
TREATMENT LEVELS TO COMPLY WITH NZBC CLAUSE B2/AS1 DURABILITY, NZS3602, TIMBER AND WOOD BASED PRODUCTS FOR USE IN BUILDING AND NZS3640 CHEMICAL PRESERVATION OF ROUND AND SAWN TIMBER.

H1.2 ALL WALL FRAMING AND ASSOCIATED MEMBERS
ROOF FRAMING, TRUSSES AND CEILING JOISTS
ENCLOSED FRAMING WITHIN SKILLION / FLAT ROOFS
H3.1-CLADDING CAVITY BATTENS

DURABILITY
DURABILITY OF STRUCTURAL FIXINGS FOR ZONE C FIXINGS ARE TO COMPLY WITH NZBC B2 DURABILITY AND NZS3604:2011 SECTION 4 - DURABILITY.

ALL STRUCTURAL FIXINGS IN EXPOSED ENVIRONMENT OR WITHIN 600mm OF GROUND ARE TO BE TYPE 304 OR 316 STAINLESS STEEL.

FLASHING AND WRAP SYSTEMS
ALL FLASHINGS, FLASHING TAPES, WRAPS, UNDERLAYS AND ASSOCIATED ACCESSORIES ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

NOTE
ALL BOLTS SHALL HAVE 50SQ X 3MM WASHERS TO TIMBER FACES.

BEAM POCKET DETAIL
1:10

01	21/06/21	RFI DATED 21/06/2021	AS
-	21/04/21	BUILDING CONSENT SET	AS
REV.	DATE	DESCRIPTION	DRAWN

ONLY COUNCIL STAMPED PLANS TO BE USED FOR CONSTRUCTION.
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DO NOT SCALE OFF PLANS.



401 WESTERN HILLS DRIVE PH: (09) 438 3799
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WILLIAMSON III RESIDENCE
315B, WESTERN HILLS DRIVE, AVENUES,
WHANGAREI, 010
GPS - 35°43'24.4"S 174°18'49.7"E

FLOOR/FRAMING/BRACING PLAN

****BUILDING CONSENT****

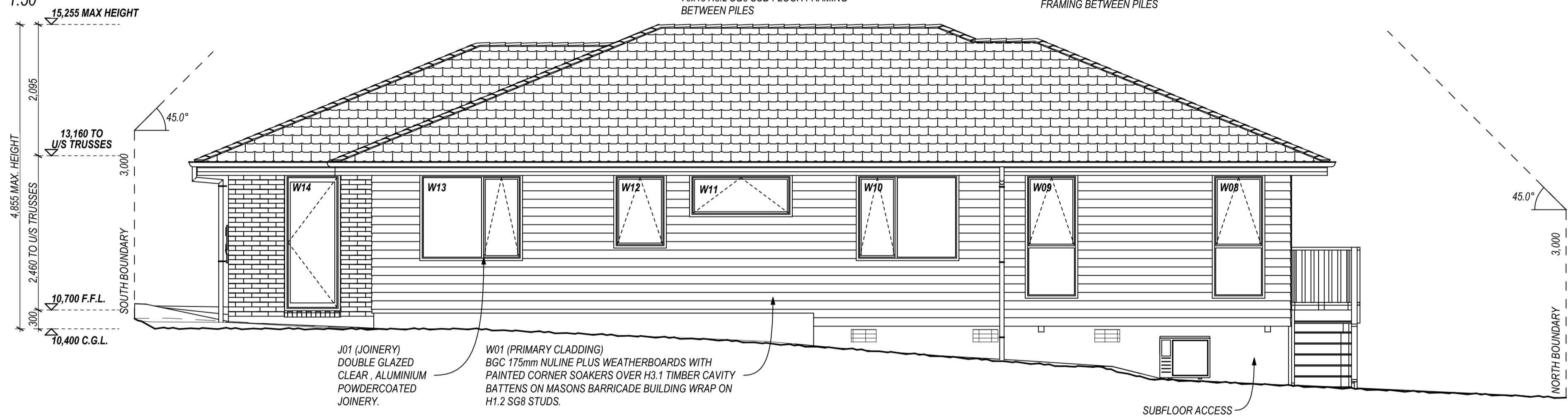
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REVISION:	01
SHEET SIZE:	A1
JOB NO:	5040ST
DRAWN:	AS
PAGE:	02 OF 07





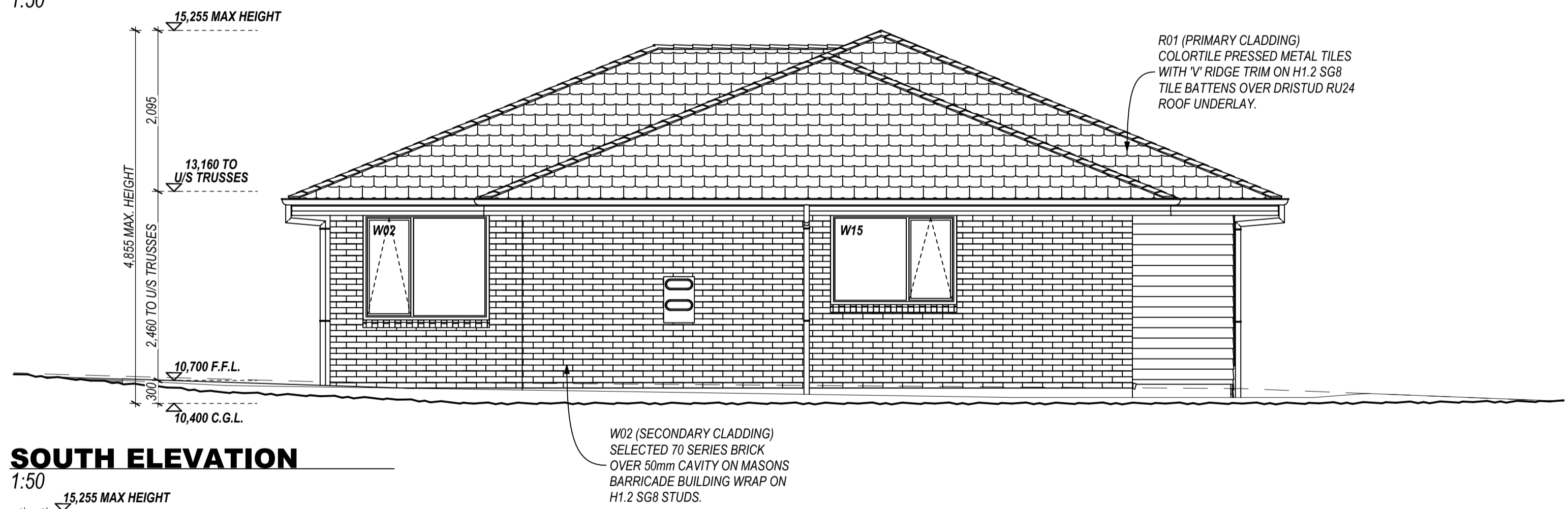
NORTH ELEVATION

1:50



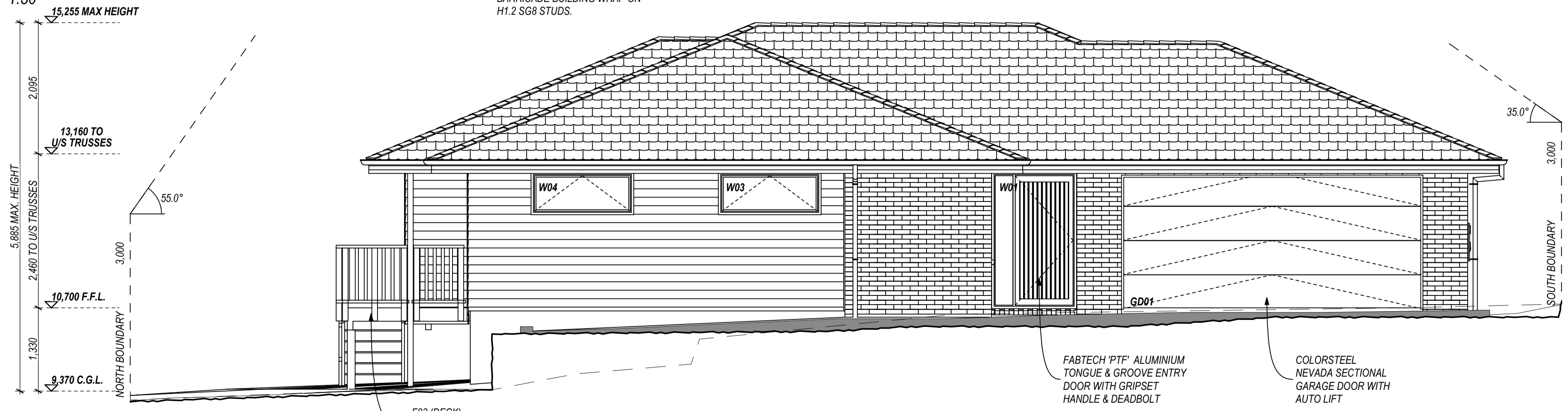
EAST ELEVATION

1:50



SOUTH ELEVATION

1:50



WEST ELEVATION

1:50

H1/AS1 Calculation method:

H1 Energy Efficiency Calculations

Building Data:

Climate Zone: Zone 1

A_{Roof} (Total Roof Area): 121.26 m²

Total Wall Area (including glazing): 126.86 m²

30% of Total Wall Area: 38.06 m²

70% of Total Wall Area: 88.80 m²

A_{Wall} (Total Wall Area - Total Glazing Area): 98.36 m²

$A_{Glazing}$ (Total Glazing Area): 28.50 m²

Glazing Ratio: 22.47 %

A_{Floor} (Total Floor Area): 121.26 m²

Reference Building Heat Loss:

$$HL_{ref} = \frac{A_{Roof}}{2.9} + \frac{A_{Wall} \times 0.26}{1.9} + \frac{A_{Glazing}}{1.3} + \frac{A_{Floor}}{1.3}$$

$$= \frac{121.26}{2.9} + \frac{38.06 \times 0.26}{1.9} + \frac{28.50}{1.3} + \frac{121.26}{1.3}$$

$$= 41.81 + 46.74 + 146.38 + 93.28$$

$$= 328.2 \text{ W}^\circ\text{C}$$

Proposed Building Heat Loss:

Building Element	R (m ² °C/W)	A (m ²)	HL	
Roof	METAL TILE ROOFING OVER TRUSSES @ 800CRS WITH R3.2 INSULATION	3.10	121.3	39.1
Wall	WB OVER 20mm CAVITY OVER 90mm FRAMING WITH R2.2 INSULATION	1.90	89.4	47.0
Glazing	BRICK CLADDING OVER 90mm FRAMING WITH R2.2 INSULATION	1.90	9.0	4.7
Floor	DOUBLE-GLAZED WINDOWS @ 400 CRS WITH R1.4 EPS INSULATION	0.26	28.5	109.6
	TIMBER FLOORING OVER JOISTS	1.50	57.0	38.0
	CONCRETE SLAB ON VAPOUR BARRIER	1.50	64.3	42.9
Total Heat Loss =			281.3 W ^o C	

RISK MATRIX

ALL ELEVATIONS

Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		3

TYPICAL NOTES:

- FLOORS**
- F01 (FLOOR SLAB TYPICAL) 100mm THICK 25MPa CONCRETE FLOOR SLAB, REINFORCED WITH GRADE SET2 REINFORCING MESH, WITH 30mm TOP COVER OVER 0.25mm POLYTHENE DPM OVER, 25mm SAND BLINDING OVER, 75mm MIN. COMPACTED HARDFILL LAP REINFORCING MESH MIN. 250mm BAR TO BAR
 - F02 (TYPICAL DWELLING) KOPINE ULTRALOCK 20mm PARTICLE BOARD FLOORING LAID ON H1.2 JOISTS. EXPOL UNDERFLOOR R1.4 EPS INSULATION LAID BETWEEN JOISTS.
 - F03 (DECK) EX 150x40mm PINE DECKING, LAID ON H3.2 JOISTS @ CRS. SHOWN ON FLOOR FRAMING PLAN.
- WALL CLADDINGS**
- W01 (PRIMARY CLADDING) BGC 175mm NULINE PLUS WEATHERBOARDS WITH PAINTED CORNER SOAKERS OVER H3.1 TIMBER CAVITY BATTENS ON MASONS BARRICADE BUILDING WRAP ON H1.2 Sg8 STUDS.
 - W02 (SECONDARY CLADDING) SELECTED 70 SERIES BRICK OVER 50mm CAVITY ON MASONS BARRICADE BUILDING WRAP ON H1.2 Sg8 STUDS.
 - W03 (PRIMARY SUBFLOOR CLADDING) BGC 6mm DURASHEET WALL LINING OVER 70x45 H3.2 Sg8 SUB-FLOOR FRAMING BETWEEN PILES
 - W04 (DECK SUBFLOOR CLADDING) 90x25mm H3.2 HORIZONTAL BATTENS WITH MIN. 20mm GAP BETWEEN OVER 70x45 H3.2 Sg8 SUB-FLOOR FRAMING BETWEEN PILES
 - W00 (INTERIOR LINING) 10mm GIB LINING STOPPED TO LEVEL 4. (10mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R2.2 WALL BATTIS TO EXTERIOR WALLS (EXCLUDING GARAGE).

- ROOFS**
- R01 (PRIMARY CLADDING) COLORTILE PRESSED METAL TILES WITH 'V' RIDGE TRIM ON H1.2 Sg8 TILE BATTENS OVER DRISTUD R2.4 ROOF UNDERLAY.
 - R02 (GUTTER/FASCIA) COLORCOTE CONTINUOUS QUARTZ GUTTER ON CONTINUOUS 180 R5 COLORCOTE FASCIA, WITH 80 MARLEY uPVC ROUND DOWNPIPES (UN-PAINTED).

- CEILING**
- C01 (INTERIOR LINING) 13mm GIB LINING FIXED TO UNDERSIDE OF C835 STEEL ROLLFORMERS @ 800CRS MAX, STOPPED TO LEVEL 4 (13mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R3.2 BLANKET INSULATION ON CEILING BATTENS BETWEEN TRUSS BOTTOM CHORDS (EXCLUDING GARAGE).
 - C02 (SOFFIT) 4.5mm BGC SOFFIT LINING DIRECT FIXED TO UNDERSIDE OF SOFFIT FRAMING

- JOINERY**
- J01 (JOINERY) DOUBLE GLAZED CLEAR, ALUMINIUM POWDERCOATED JOINERY.

- TIMBER TREATMENT:**
- TREATMENT LEVELS TO COMPLY WITH NZBC CLAUSE B2/AS1 DURABILITY, NZS3602, TIMBER AND WOOD BASED PRODUCTS FOR USE IN BUILDING AND NZS3640 CHEMICAL PRESERVATION OF ROUND AND SAWN TIMBER.
- H1.2 ALL WALL FRAMING AND ASSOCIATED MEMBERS ROOF FRAMING, TRUSSES AND CEILING JOISTS ENCLOSED FRAMING WITHIN SKILLION / FLAT ROOFS
- H3.1-CLADDING CAVITY BATTENS

- DURABILITY**
- DURABILITY OF STRUCTURAL FIXINGS FOR ZONE C FIXINGS ARE TO COMPLY WITH NZBC B2 DURABILITY AND NZS3604:2011 SECTION 4 - DURABILITY.
- ALL STRUCTURAL FIXINGS IN EXPOSED ENVIRONMENT OR WITHIN 600mm OF GROUND ARE TO BE TYPE 304 OR 316 STAINLESS STEEL.

- FLASHING AND WRAP SYSTEMS**
- ALL FLASHINGS, FLASHING TAPES, WRAPS, UNDERLAYS AND ASSOCIATED ACCESSORIES ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

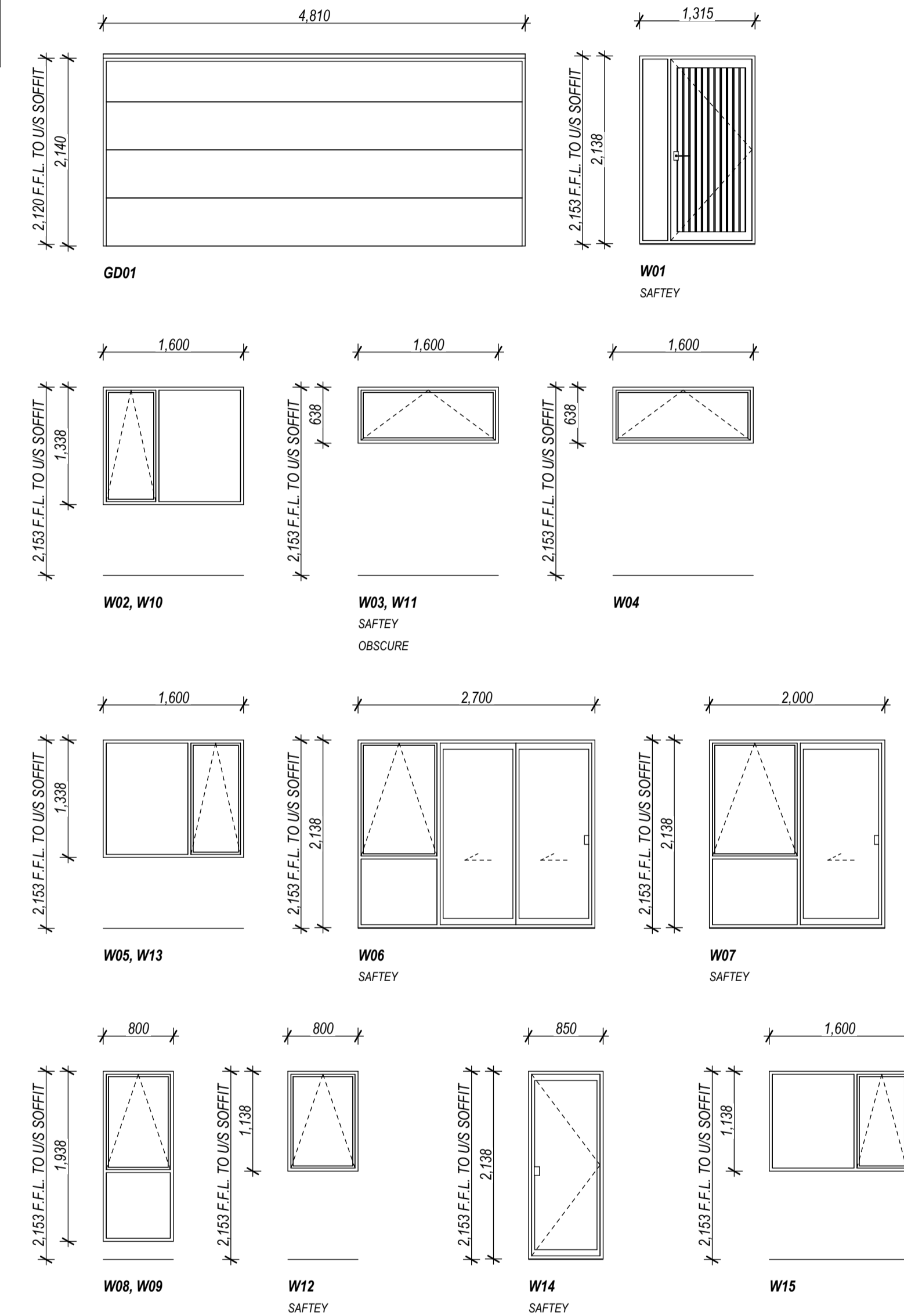
- NOTE**
- ALL BOLTS SHALL HAVE 50SQ X 3MM WASHERS TO TIMBER FACES.

JOINERY NOTES:

- J01 (JOINERY) DOUBLE GLAZED CLEAR, ALUMINIUM POWDERCOATED JOINERY.
- ALL UNITS VIEWED FROM EXTERIOR ALL DIMENSIONS WINDOW SIZE (NOT TRIM SIZE) CONFIRM BEFORE COMMENCING CONSTRUCTION. ALL JOINERY TO BE POWDERCOATED ALUMINIUM AND BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.
- ALL JOINERY TO HAVE H3.1 JAMBLINERS.
- ALL GLAZING BELOW 600mm FROM F.F.L. TO BE TOUGHENED SAFETY GLASS

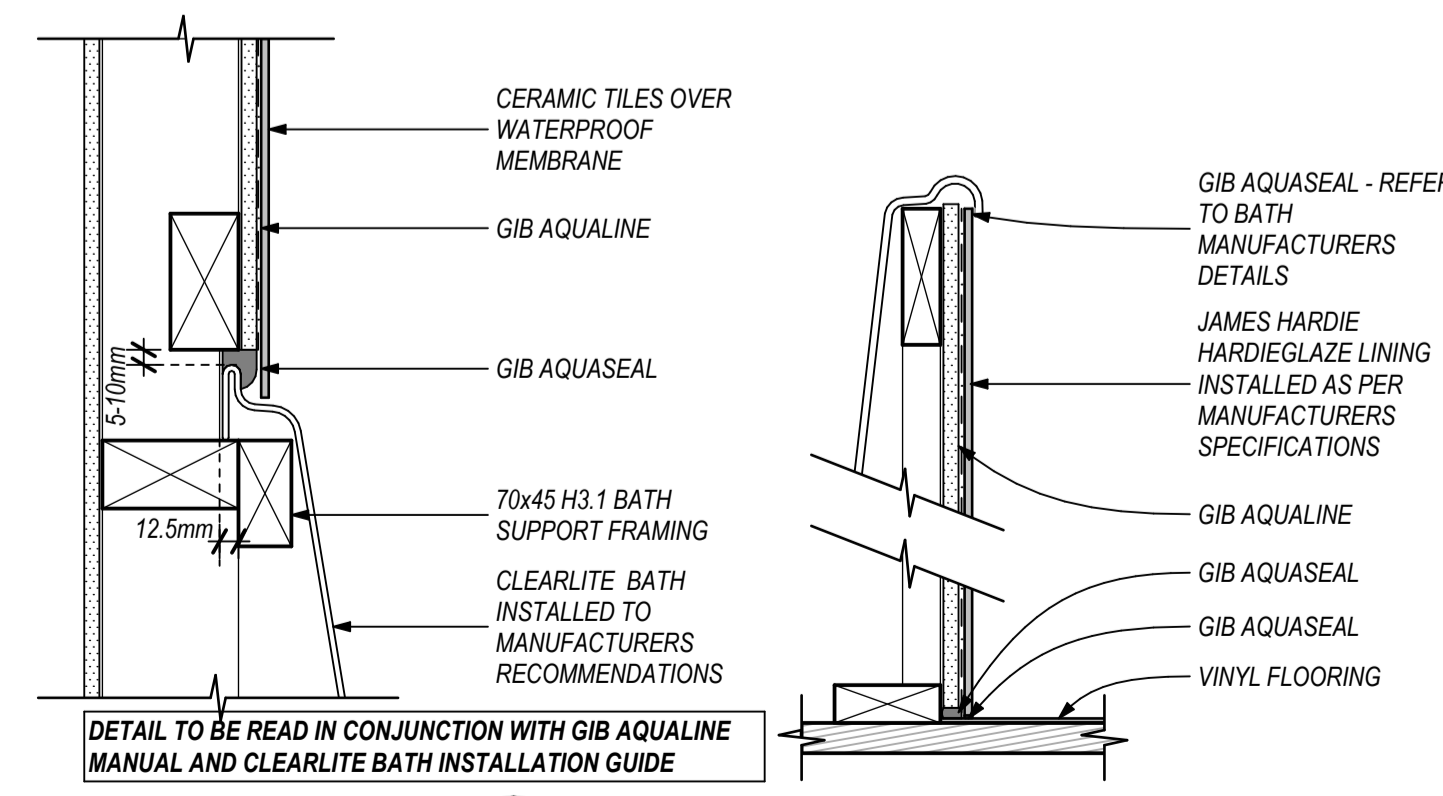
- JOINERY MANUFACTURER TO CHECK AND VERIFY ALL DIMENSIONS, AND STRUCTURAL SUPPORTS WHERE REQUIRED.**
- GLAZING TO COMPLY WITH THE FOLLOWING STANDARDS NZS 3504: SPECIFICATION FOR ALUMINIUM WINDOWS NZS 4223: CODE OF PRACTICE FOR GLAZING IN BUILDINGS NZS 4211: SPECIFICATION FOR THE PERFORMANCE OF WINDOWS

- GLASS, TOUGHENED AS REQUIRED FOR PANE SIZE. ALL FIXINGS AND FLASHINGS TO MANUFACTURERS DETAILS AND SPECIFICATIONS. INSTALL WITH FLASHING TAPE SYSTEM TO WRAP MANUFACTURERS SPECIFICATIONS AND DETAILS.
- FINISHES TO ALL SILL TRAYS AND FLASHINGS TO MATCH JOINERY FRAMES.



WINDOW SCHEDULE

1:50



BATH DETAILS

1:5

01	21/06/21	RFI DATED 21/06/2021	AS
-	21/04/21	BUILDING CONSENT SET	AS
REV.	DATE	DESCRIPTION	DRAWN
ONLY COUNCIL STAMPED PLANS TO BE USED FOR CONSTRUCTION. IF ANY DOUBT OVER BUILDING WORK CONSULT WITH DESIGNER. DO NOT SCALE OFF PLANS.			



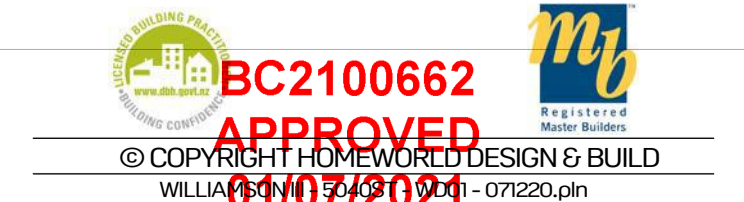
401 WESTERN HILLS DRIVE PH: (09) 438 3779
PO BOX 391, WHANGAREI 0800 86 89 86
WWW.HOMEWORLD.CO.NZ

WILLIAMSON III RESIDENCE
315B, WESTERN HILLS DRIVE, AVENUES,
WHANGAREI, 010
GPS - 35°43'24.4"S 174°18'49.7"E

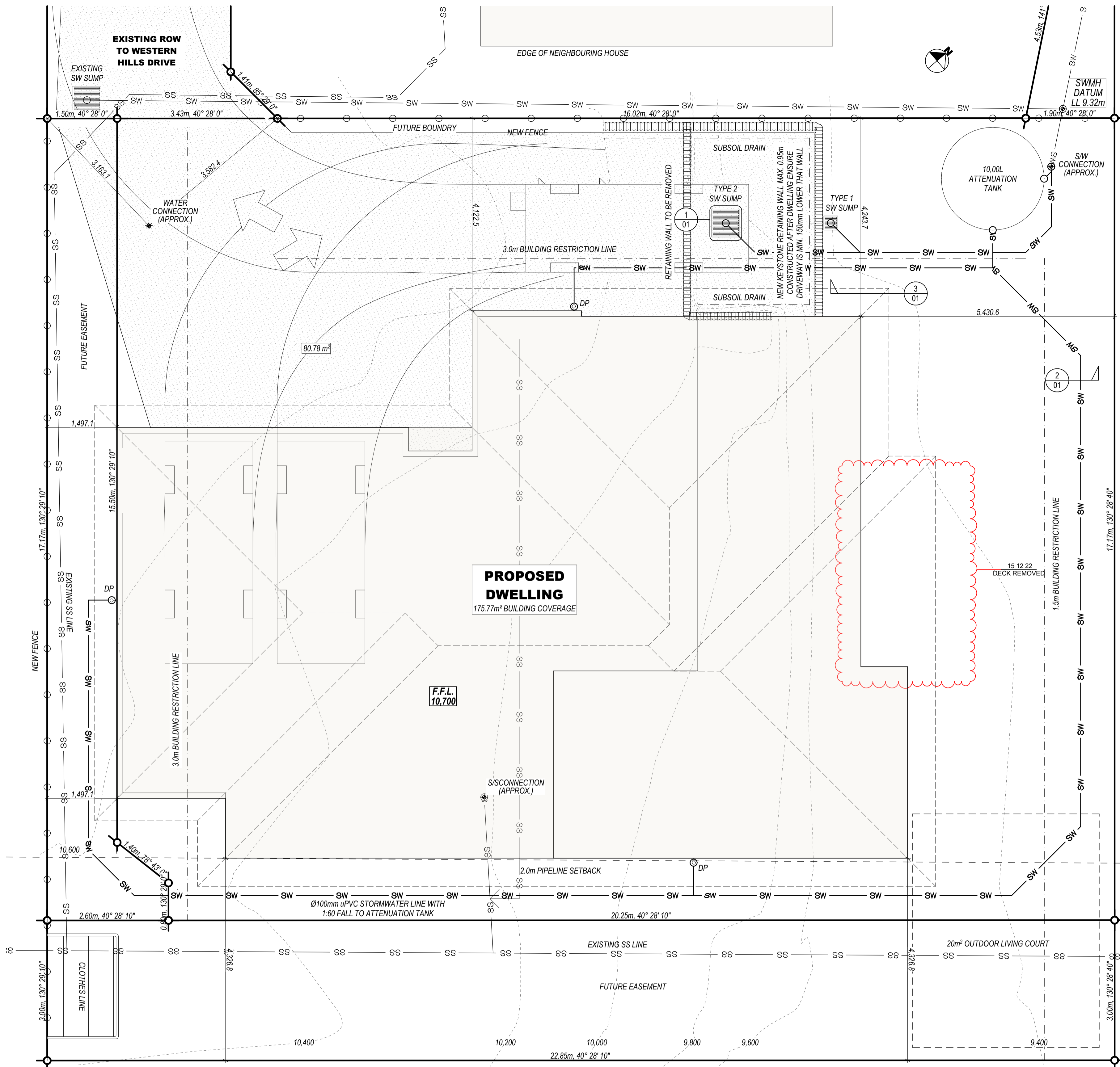
ELEVATIONS & WINDOW SCHEDULE

****BUILDING CONSENT****

DATE:	21/06/2021
REVISION:	01
SHEET SIZE:	A1
JOB NO:	5040ST
DRAWN:	AS
PAGE:	03 OF 07



WHANGAREI DISTRICT COUNCIL BCA



SITE PLAN

IMPORTANT:
THIS SET OF DRAWINGS MUST BE READ IN CONJUNCTION WITH ATTACHED.

- ENGINEERING CALCULATIONS/REPORTS.
- MANUFACTURER'S LITERATURE.
- SPECIFICATIONS.

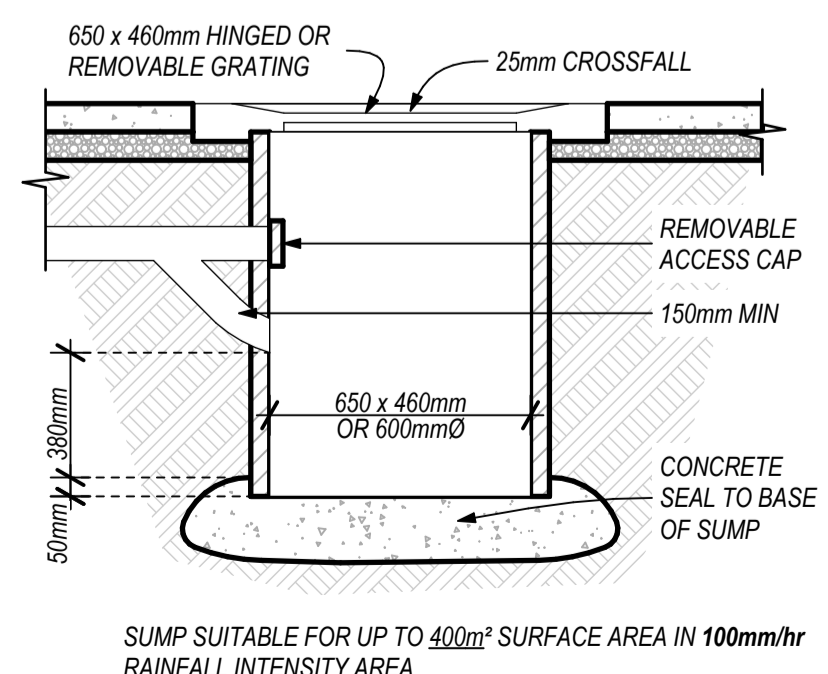
1. ALL CONSTRUCTION TO COMPLY WITH NZS 3604:2011 AND LOCAL TERRITORIAL AUTHORITY BYLAWS.
2. ALL INTERNAL DOOR SIZES SHOWN ARE FOR THE ACTUAL DOOR AND ARE NOT THE TRIM SIZE.
3. ALL DIMENSIONS & UNDERGROUND SERVICES TO BE CHECKED ON SITE BY CONTRACTORS BEFORE COMMENCEMENT OF ANY WORK.
4. CONTRACTOR TO ENSURE ALL GROUND LEVELS & HEIGHT RESTRICTIONS ARE CORRECT AND COMPLY WITH TERRITORIAL AUTHORITY BYLAWS THROUGHOUT CONSTRUCTION.
5. DO NOT SCALE FROM DRAWINGS & WORK FROM DIMENSIONS SHOWN.

PLUMBING & DRAINAGE NOTES:

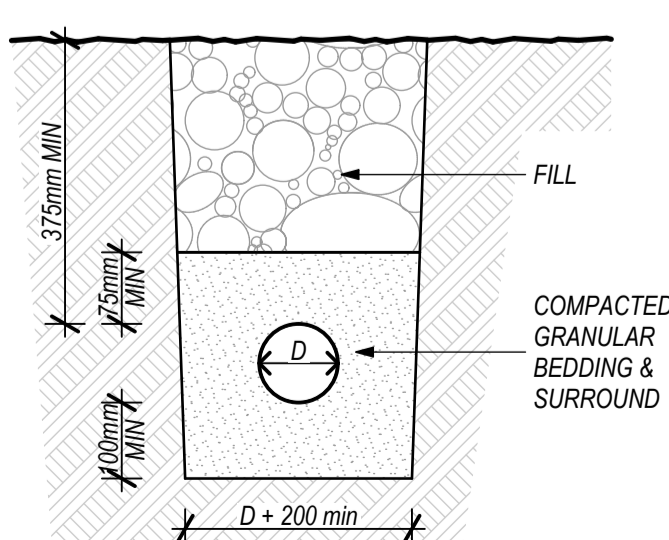
- ALL SANITARY PLUMBING AND DRAINAGE WORK MUST COMPLY WITH NZ BUILDING CODE ACCEPTABLE SOLUTION NZ STANDARD - AS/NZS 3500 PART 2.2
- ALL STORMWATER DRAINAGE WORK MUST COMPLY WITH NZ BUILDING CODE ACCEPTABLE SOLUTION E1/AS1.

MINIMUM GRADIENT RATIO OF SANITARY DISCHARGE PIPES AND DRAINS:
1. AS/NZS 3500 PART 2 DISCHARGE PIPES AND DRAINS.
Ø65-140 FALL
Ø100-180 FALL

MINIMUM GRADIENT RATIO OF STORMWATER DRAINS:
NZBC E1/AS1
Ø100 - 1.60



STORMWATER SUMP DETAIL
1:20



STORMWATER TRENCH DETAIL
1:10

SITE WORKS:

- READ **RS ENG** SUITABILITY REPORT FULLY PRIOR TO UNDERTAKING ANY SITE WORKS. ALL SITE WORKS TO COMPLY WITH RECOMMENDATIONS AND CONCLUSIONS WITHIN REPORT.
 - CONTOUR LINES AND SERVICE CONNECTION LOCATIONS SHOWN INDICATIVE ONLY.
 - CONFIRM ALL SERVICE CONNECTION DEPTHS PRIOR TO COMMENCING ANY WORKS. ENSURE SUFFICIENT FALL FROM PROPOSED F.F.L. TO ALL CONNECTIONS.
 - ALL RETAINING WALL DIMENSIONS SHOWN TO FINISHED WALL LINE ONLY. PROVIDE CUT MIN. 500mm BEHIND WALL TO ALLOW ROOM FOR WALL CONSTRUCTION.
- SEDIMENT CONTROL / MANAGEMENT:**
- PROVIDE SILT FENCE IF / WHERE REQUIRED TO PREVENT SEDIMENT RUN-OFF FROM LEAVING THE SITE.
 - ACCESS / TURNING / WASHDOWN AREA TO BE METALLED PRIOR TO CONSTRUCTION.
- SITE FENCING**
WHERE UNAUTHORISED ENTRY TO THE WORK SITE IS LIKELY, PROVIDE SITE FENCING AND / OR RESTRICT ACCESS IN ACCORDANCE WITH NZBC F5/AS1 SECTION 1.0 AND 1.1. 2.0m MIN. HIGH CHAINLINK FENCE WITH MAX. GRID SIZE OF 50x50mm AND POST SPACING AT MAX. 2.5m COMPLIES, PROVIDED THAT THE GAP BETWEEN GROUND AND THE BOTTOM OF THE FENCE IS NO GREATER THAN 100mm

SITE NOTES

LEGAL DESCRIPTION
LOT 1, D.P. 492667
PHYSICAL ADDRESS
315B WESTERN HILLS DRIVE, AVENUES, WHANGAREI, 0110

SITE AREA: 460m²
DWELLING SIZE: 164.50m²

SITE INFORMATION:
WIND ZONE (TO NZS3604:2011): HIGH LIVING 2
ENVIRONMENT: GENERAL RESIDENTIAL
OVERLAY/NOTABLE AREA: C
EARTHQUAKE ZONE: 1
INSTABILITY AREA: LOW
FLOOD SUSCEPTIBILITY: NA

SITE COVERAGE:
DWELLING: 164.50m²
DECKS: 20.4m²
BUILDING/SITE COVERAGE AREA: 175.77m²
TOTAL SITE COVERAGE: 38.21% (40% MAX.)

IMPERVIOUS AREAS:
ROOF AREA: 204.73m²
DRIVEWAY: 71m²
TOTAL IMPERVIOUS AREA: 275.73m² (59.94%)

CONTOURS: CONTOUR LINES 0.2m

EXCAVATION REQUIRED:
(APPROX. COMPACTED VOLUME): APPROX CUT 25m³

WATER SUPPLY:
RETICULATED SITE - COUNCIL WATER CONNECTION POINT AS SHOWN ON SITE PLAN.

STORMWATER ATTENUATION:
10,000L ATTENUATION TANK PARTIALLY BURIED AS PER RS ENG SUITABILITY REPORT #17576

RETICULATED WATER SUPPLY - EXISTING FIRE HYDRANT WITHIN 135m (BUT GREATER THAN 6.0m) OF DWELLING AS PER SECTION L4 SNZ PAS 4508:2008

OVERALL SITE NOTES

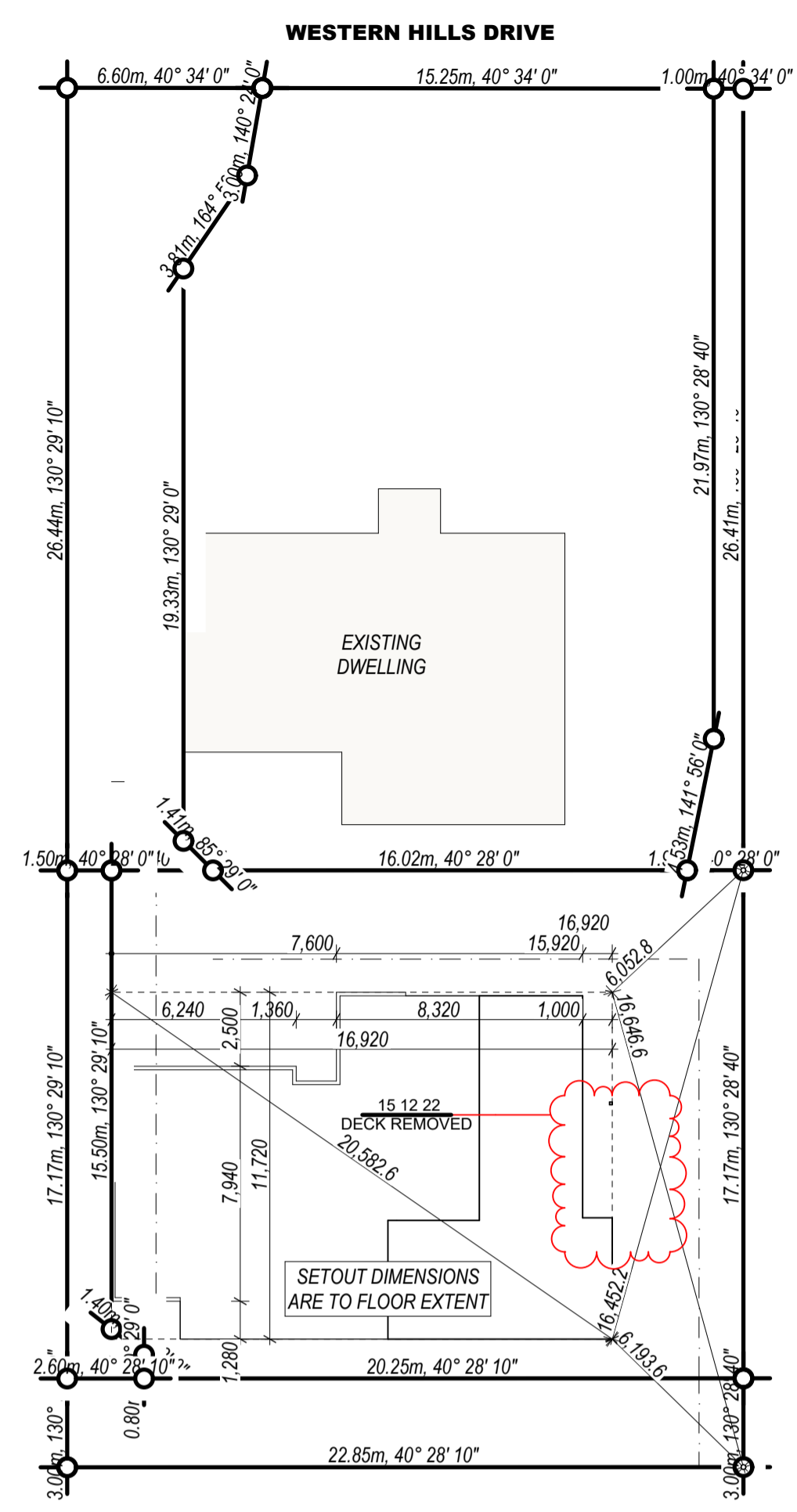
LEGAL DESCRIPTION
SECTION 12 SO 437701
PHYSICAL ADDRESS
315B WESTERN HILLS DRIVE, AVENUES, WHANGAREI, 0110

SITE AREA: 1065m²

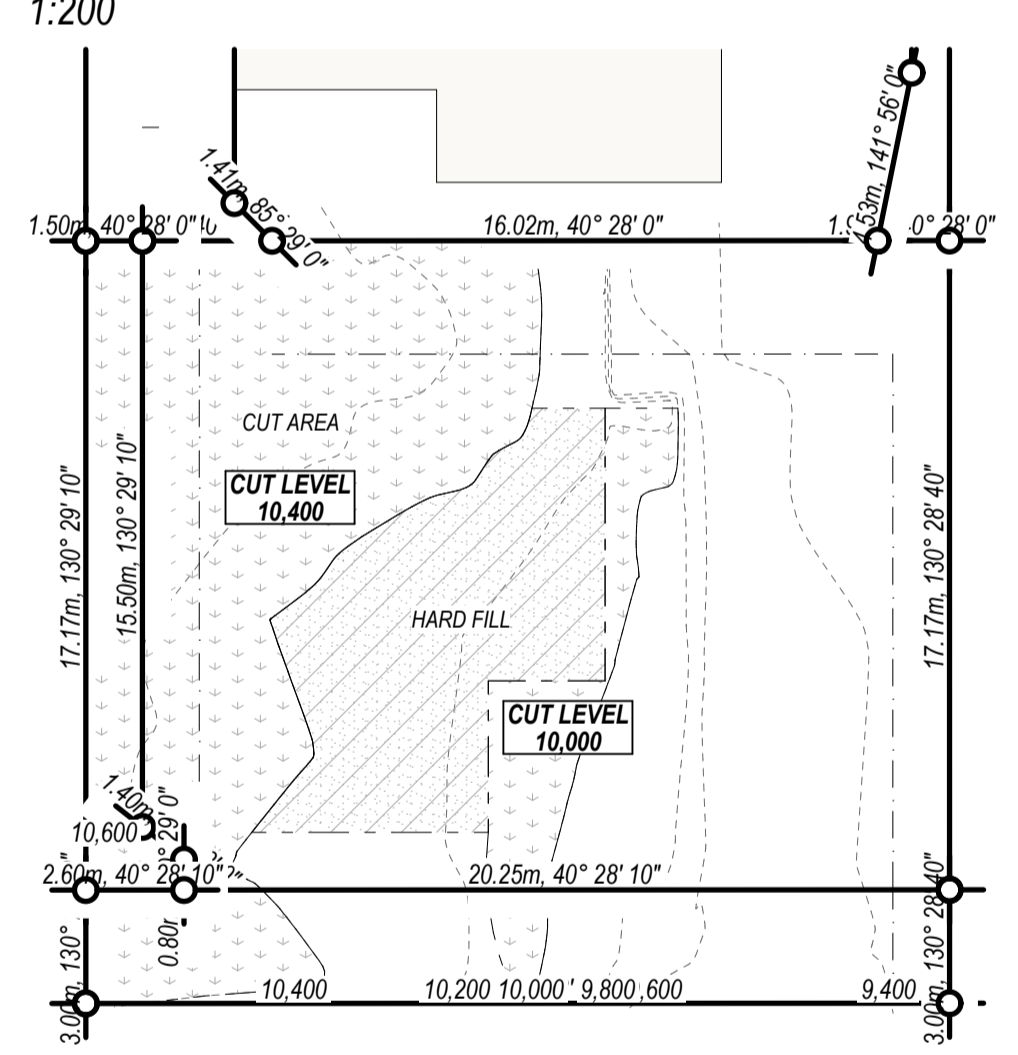
SITE INFORMATION:
WIND ZONE (TO NZS3604:2011): HIGH LIVING 2
ENVIRONMENT: GENERAL RESIDENTIAL
FUTURE ZONE: C
EXPOSURE ZONE: 1
EARTHQUAKE ZONE: 1
INSTABILITY AREA: LOW
FLOOD SUSCEPTIBILITY: NA

SITE COVERAGE:
EXISTING DWELLING: 116.60m²
PROPOSED DWELLING: 190.41m²
BUILDING/SITE COVERAGE AREA: 307.01m²
TOTAL SITE COVERAGE: 28.28%

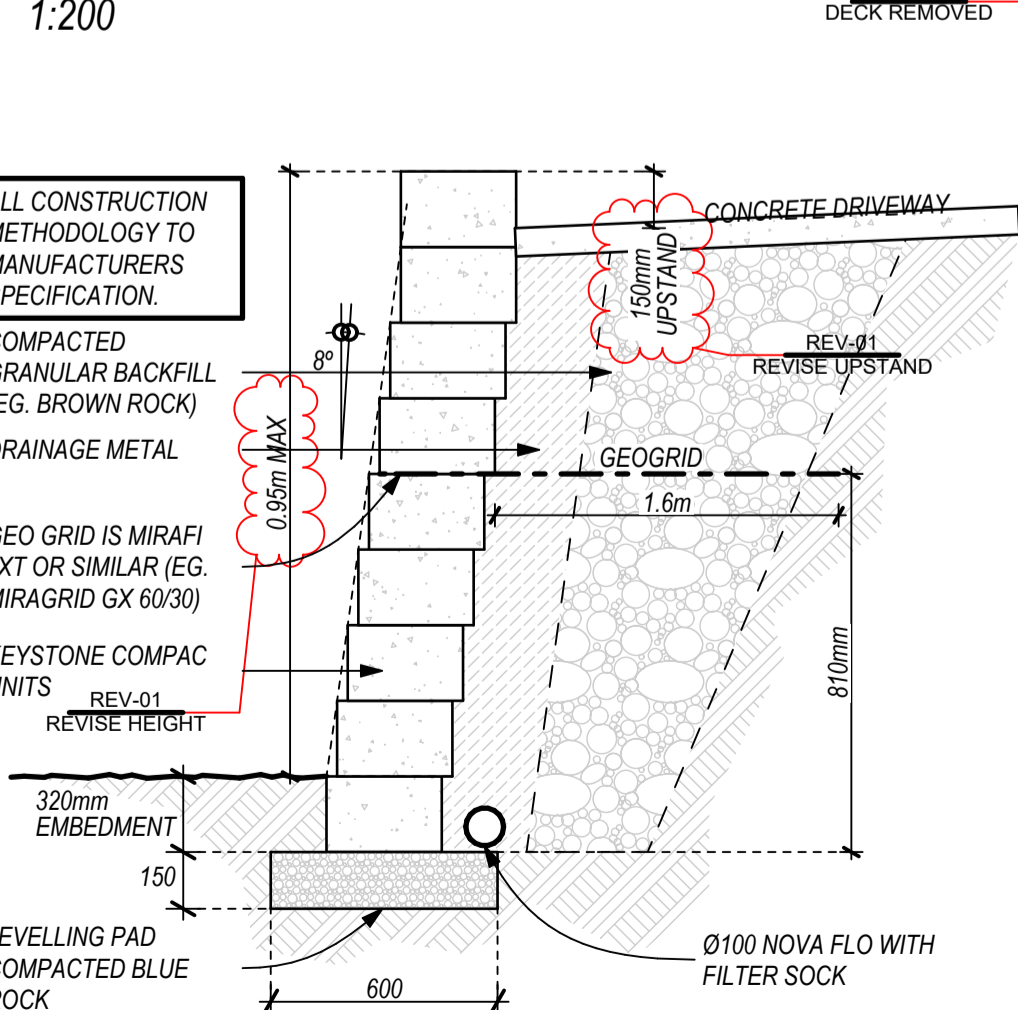
IMPERVIOUS AREAS:
EXISTING CONCRETE: 161.50m²
EXISTING ROOF AREA: 116.60m²
PROPOSED ROOF AREA: 204.73m²
PROPOSED PATHS/PATIOS: 0m²
DRIVEWAY: 71m²
TOTAL IMPERVIOUS AREA: 584.02m² (55.77%)



SITE SETOUT PLAN



EXCAVATION PLAN



KEYSTONE WALL DETAIL
1:20

TYPICAL NOTES:

- FLOORS**
- F01 (FLOOR SLAB TYPICAL)
100mm THICK 25MPa CONCRETE FLOOR SLAB, REINFORCED WITH GRADE S72 REINFORCING MESH, WITH 30mm TOP COVER OVER 0.25mm POLYTHENE DPM OVER, 25mm SAND BLINDING OVER, 75mm MIN. COMPACTED HARDFILL LAP REINFORCING MESH MIN. 250mm BAR TO BAR
 - F02 (TYPICAL DWELLING)
KOPINE ULTRALOCK 20mm PARTICLE BOARD FLOORING LAID ON H1.2 JOISTS. EXPOL UNDERFLOOR R1.4 EPS INSULATION LAID BETWEEN JOISTS.
 - F03 (DECK)
EX 150x40mm PINE DECKING, LAID ON H3.2 JOISTS @ CRS. SHOWN ON FLOOR FRAMING PLAN.
- WALL CLADDINGS**
- W01 (PRIMARY CLADDING)
BGC 175mm NULINE PLUS WEATHERBOARDS WITH PAINTED CORNER SOAKERS OVER H3.1 TIMBER CAVITY BATTENS ON MASONS BARRICADE BUILDING WRAP ON H1.2 S68 STUDS.
 - W02 (SECONDARY CLADDING)
SELECTED 70 SERIES BRICK OVER 50mm CAVITY ON MASONS BARRICADE BUILDING WRAP ON H1.2 S68 STUDS.
 - W03 (PRIMARY SUBFLOOR CLADDING)
BGC 6mm DURASHEET WALL LINING OVER 70x45 H3.2 S68 SUB-FLOOR FRAMING BETWEEN PILES
 - W04 (DECK SUBFLOOR CLADDING)
90x25mm H3.2 HORIZONTAL BATTENS WITH MIN. 20mm GAP BETWEEN OVER 70x45 H3.2 S68 SUB-FLOOR FRAMING BETWEEN PILES
 - W00 (INTERIOR LINING)
10mm GIB LINING STOPPED TO LEVEL 4. (10mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R2.2 WALL BATTIS TO EXTERIOR WALLS (EXCLUDING GARAGE).
- ROOFS**
- R01 (PRIMARY CLADDING)
COLOR TILE PRESSED METAL TILES WITH 'V' GUTTER TRIM ON H1.2 S68 TILE BATTENS OVER DRISTUD R24 ROOF UNDERLAY.
 - R02 (GUTTER/FASCIA)
COLORCOTE CONTINUOUS QUARTZ GUTTER ON CONTINUOUS 180 R5 COLORCOTE FASCIA, WITH Ø80 MARLEY uPVC ROUND DOWNPIPES (UN-PAINTED).
- CEILING**
- C01 (INTERIOR LINING)
13mm GIB LINING FIXED TO UNDERSIDE OF CB35 STEEL ROLLFORMERS @ 600CRS MAX, STOPPED TO LEVEL 4 (13mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R3.2 BLANKET INSULATION ON CEILING BATTENS BETWEEN TRUSS BOTTOM CHORDS (EXCLUDING GARAGE).
 - C02 (SOFFIT)
4.5mm BGC SOFFIT LINING DIRECT FIXED TO UNDERSIDE OF SOFFIT FRAMING
- JOINERY**
- J01 (JOINERY)
DOUBLE GLAZED CLEAR, ALUMINIUM POWDERCOATED JOINERY.
- TIMBER TREATMENT:**
TREATMENT LEVELS TO COMPLY WITH NZBC CLAUSE B2/AS1 DURABILITY, NZS3602, TIMBER AND WOOD BASED PRODUCTS FOR USE IN BUILDING AND NZS3640 CHEMICAL PRESERVATION OF ROUND AND SAWN TIMBER.
- H1.2 ALL WALL FRAMING AND ASSOCIATED MEMBERS ROOF FRAMING, TRUSSES AND CEILING JOISTS ENCLOSED FRAMING WITHIN SKILLION / FLAT ROOFS
 - H3.1 CLADDING CAVITY BATTENS
- DURABILITY**
DURABILITY OF STRUCTURAL FIXINGS FOR ZONE C FIXINGS ARE TO COMPLY WITH NZBC B2 DURABILITY AND NZS3604:2011 SECTION 4 - DURABILITY.
ALL STRUCTURAL FIXINGS IN EXPOSED ENVIRONMENT OR WITHIN 600mm OF GROUND ARE TO BE TYPE 304 OR 316 STAINLESS STEEL.
- FLASHING AND WRAP SYSTEMS**
ALL FLASHINGS, FLASHING TAPES, WRAPS, UNDERLAYS AND ASSOCIATED ACCESSORIES ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- NOTE**
ALL BOLTS SHALL HAVE 50SQ X 3MM WASHERS TO TIMBER FACES.

SHEET INDEX

REV.	DATE	DESCRIPTION	DRAWN
01		SITE PLAN	
02		FLOORFRAMING/BRACING PLAN	
03		ELEVATIONS & WINDOW SCHEDULE	
04		FOUNDATION PLAN	
05		ROOF PLAN	
06		CROSS SECTIONS	
07		DETAILS	

ONLY COUNCIL STAMPED PLANS TO BE USED FOR CONSTRUCTION.
IF ANY DOUBT OVER BUILDING WORK CONSULT WITH DESIGNER.
DO NOT SCALE OFF PLANS.



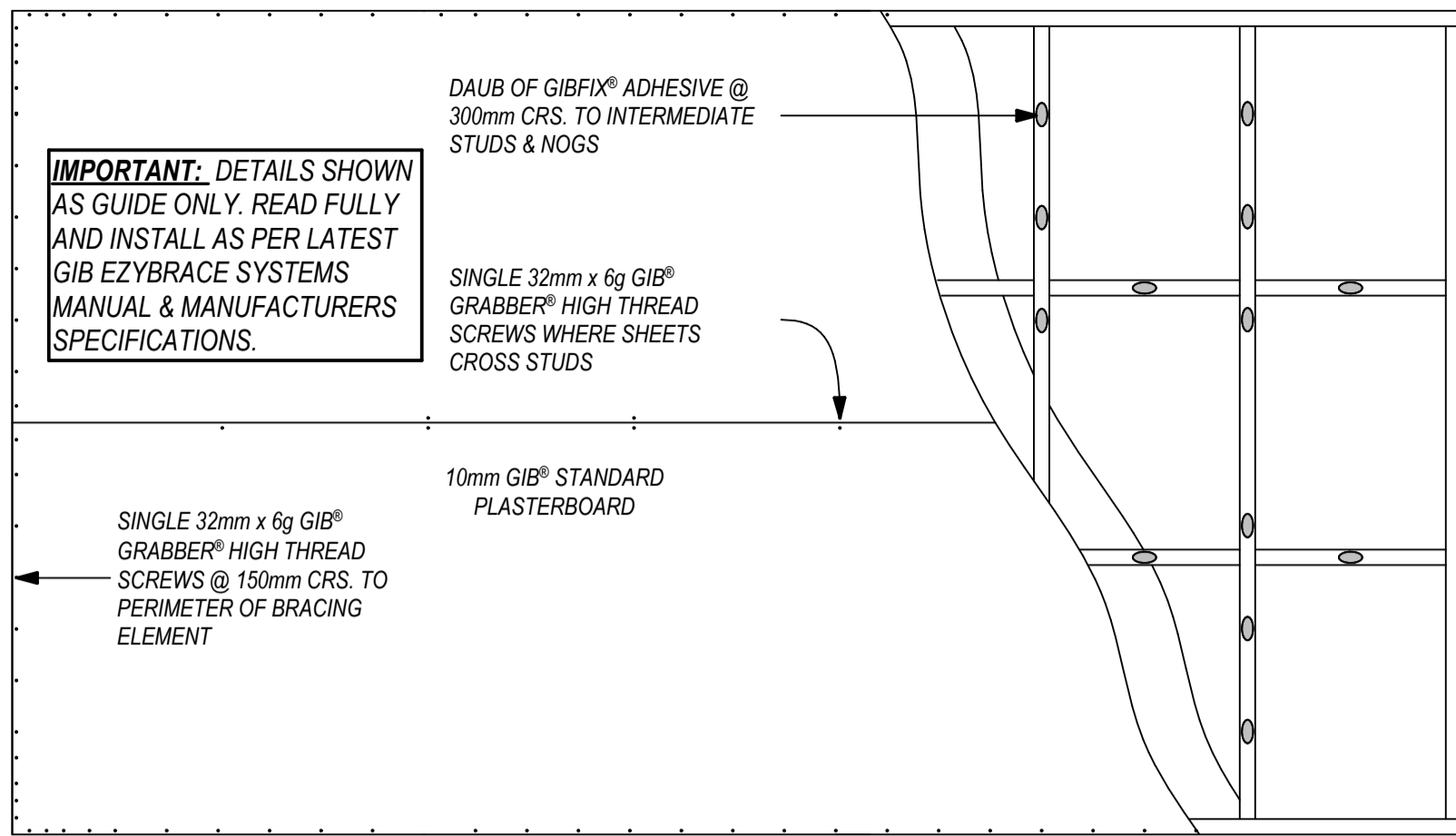
401 WESTERN HILLS DRIVE PH: (09) 438 3779
PO BOX 391, WHANGAREI 0800 86 89 89
WWW.HOMEWORLD.CO.NZ

WILLIAMSON III RESIDENCE
315B, WESTERN HILLS DRIVE, AVENUES,
WHANGAREI, 0110
GPS - 35°43'24.4"S 174°18'49.7"E

SITE PLAN

****BUILDING CONSENT****

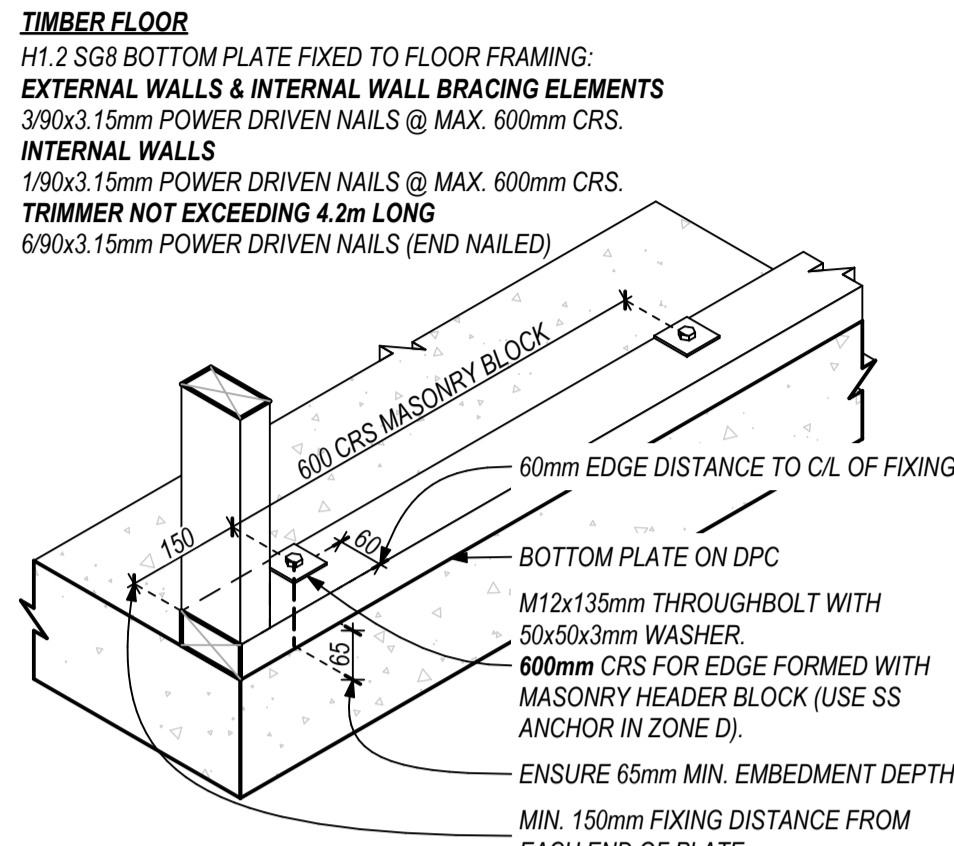
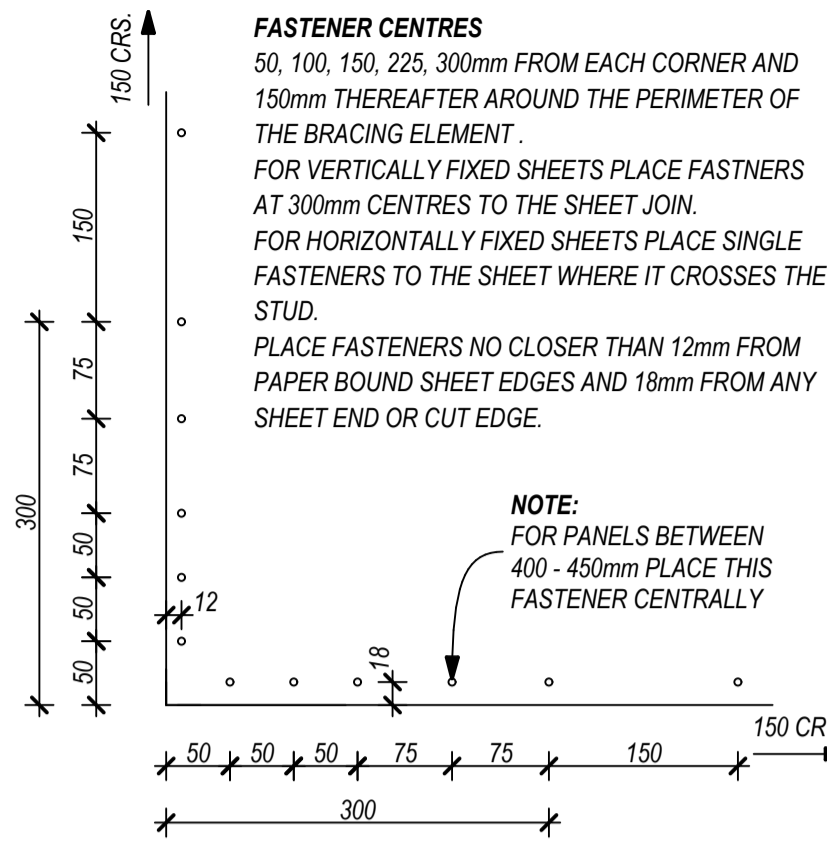
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REVISION:	01
SHEET SIZE:	A1
JOB NO:	5040ST
DRAWN:	AS
PAGE:	01 OF 07



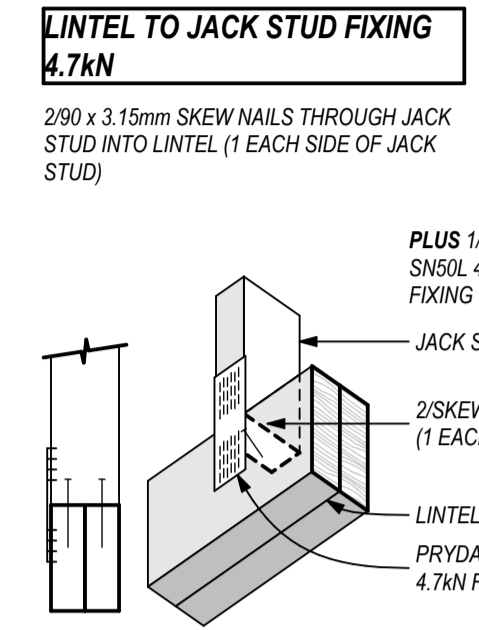
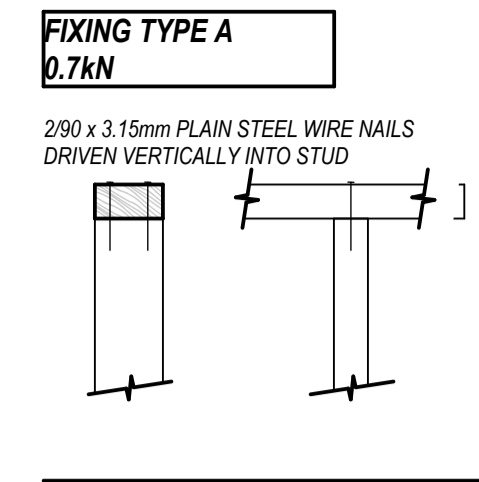
GS1-N 10mm GIB® STANDARD PLASTERBOARD MINIMUM LENGTH 400mm LINED ONE SIDE ONLY (VERTICAL OR HORIZONTAL FIXING)

GS2-NOM 10mm GIB® STANDARD PLASTERBOARD MINIMUM LENGTH 400mm LINED TWO SIDES (VERTICAL OR HORIZONTAL FIXING). **FIXED AS PER STANDARD GIB FIXING**

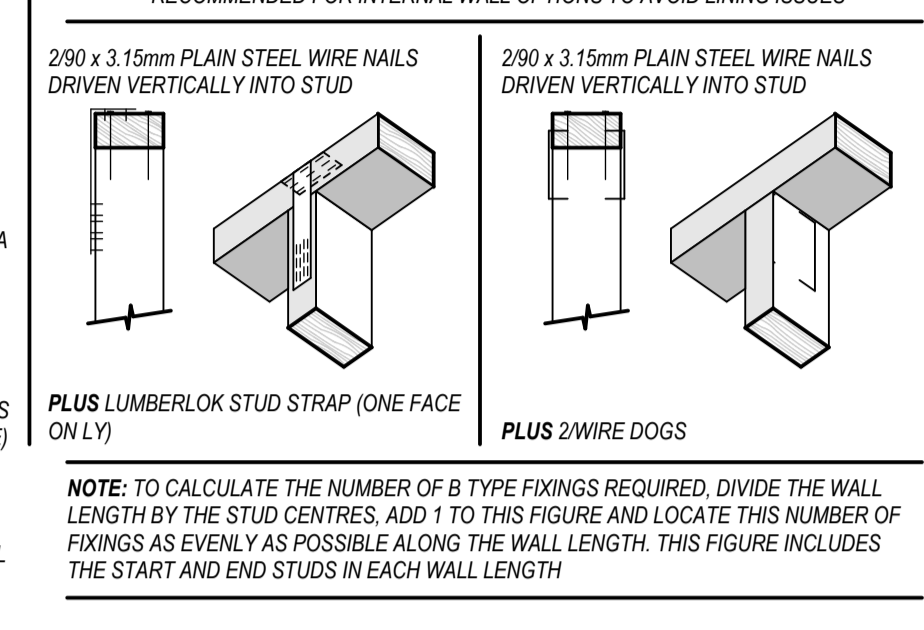
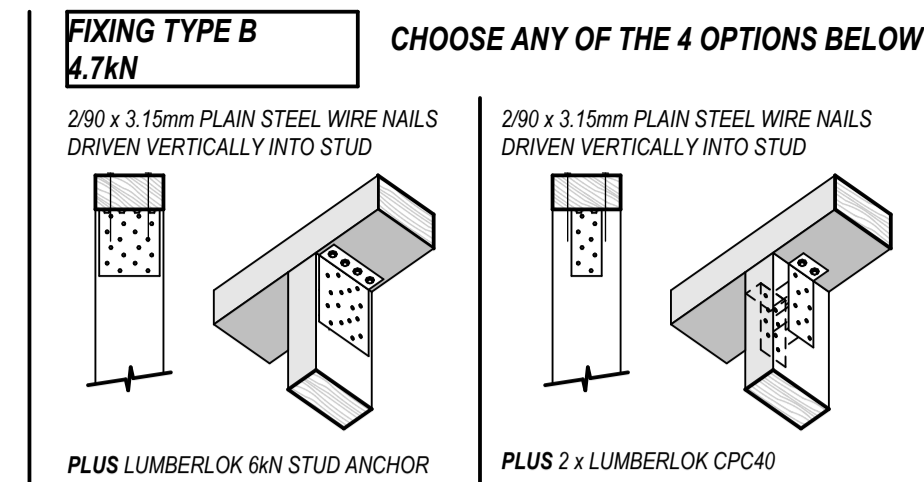
GIB BRACING DETAIL
1:20



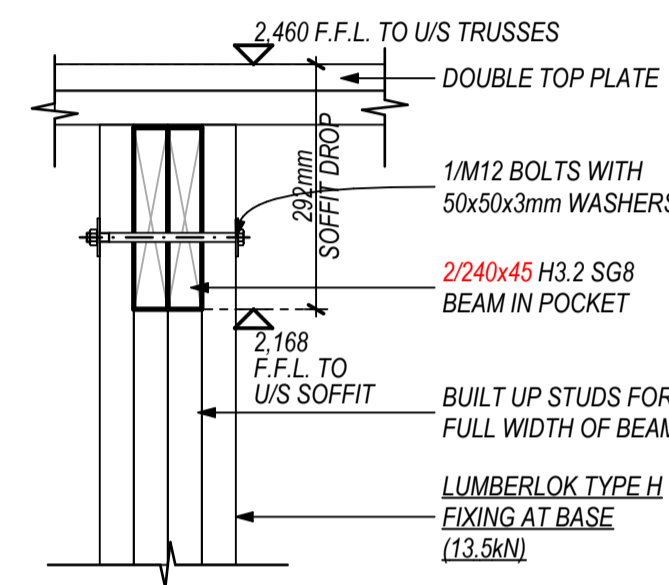
BOTTOM PLATE FIXING DETAIL
1:10



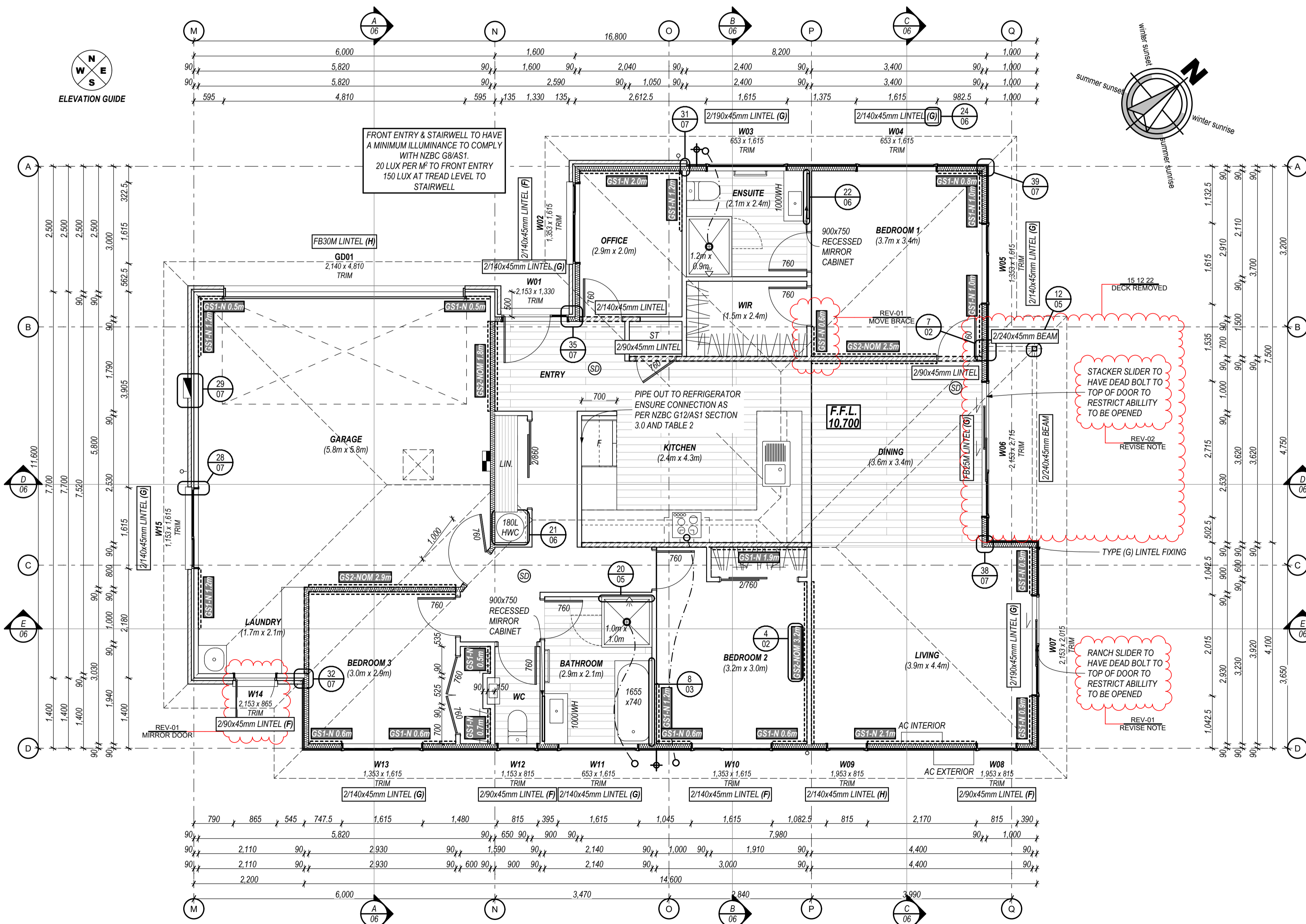
TOP PLATE FIXING DETAIL
1:10



BEAM POCKET DETAIL
1:10



BEAM POCKET DETAIL
1:10



FLOOR PLAN
1:50

FLOOR PLAN NOTES

FLOOR AREA/FOOTPRINT

FLOOR AREA:	125.90m ²
GARAGE AREA:	38.60m ²
TOTAL FLOOR AREA:	164.50m²

WET AREAS WATERPROOFING SYSTEM OPTIONS.
ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURER'S PRODUCT DETAILS.
PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED.
USE GIB AQUALINE ON WET AREA WALLS AND CEILINGS.

INTERNAL WET AREAS:
ALL TIMBER TO WALLS IN WET AREAS TO BE LINED WITH 10mm GIB AQUALINE

SHOWER ENCLOSURE SHALL BE CONTINUOUS FROM FLOOR LEVEL OR TOP OF UPSTAND TO MIN. 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 300mm ABOVE THE SHOWER ROSE

CONFIRM THE LOCATION OF THE FOLLOWING WITH OWNER PRIOR TO INSTALLATION:

- CEILING HATCH/ACCESS - CHECK HEAD HEIGHT FOR ACCESS
- FLOOR COVERINGS - CONFIRM LOCATION, EXTENT AND DIRECTION OF FLOOR COVERINGS SHOWN
- METER BOX & DISTRIBUTION BOARD
- EXTERIOR TAPS

INTERIOR DOORS
TYPICAL DOORS:
1980mm PAINT QUALITY HOLLOW CORE DOORS WITH 18mm PAINT QUALITY DOOR JAMBS AND WINDSOR CELTO SATIN CHROME LEVER HANDLES UNLESS STATED OTHERWISE
CUPBOARD SLIDERS
PROVIDE 2.050m TRIMMER HEIGHT TO ALLOW SELECTED SLIDER HARDWARE. PACK DOWN TO SUIT IF REQUIRED

INSULATION
CEILING INSULATION: R3.2 BLANKET INSULATION ON CEILING BATTENS BETWEEN TRUSS BOTTOM CHORDS (EXCLUDING GARAGE).
WALL INSULATION: R2.2 WALL BATTS TO EXTERIOR WALLS (EXCLUDING GARAGE).
SUBFLOOR INSULATION: EXPOL UNDERFLOOR R1.4 60mm EPS INSULATION LAID BETWEEN FLOOR JOISTS

KITCHEN LAYOUT SHOWN INDICATIVE ONLY.
CONFIRM LAYOUT WITH KITCHEN MANUFACTURER AND CLIENT PRIOR TO PLUMBING FITOUT

FLOOR FINISHES
HATCHING SHOWN INDICATING FLOORING FINISH INDICATIVE ONLY. CONFIRM LOCATION AND EXTENT WITH OWNER

VANITIES
PIPE ALL VANITIES FOR WALL-HUNG

STAIRS/STEPS:
ALL STAIRS TO BE AS PER MAIN PRIVATE TO NZBC D1 FIG. 11 MAX. RISE: 190mm (ENSURE RISES ARE OF EQUAL HEIGHT)
MIN. TREAD: 255mm + 25mm PROJECTION (280mm TREAD)
ENSURE MIN. 1/4 HANDRAIL 900mm ABOVE PITCH LINE FOR ANY STAIR WITH 3 OR MORE STEPS

ACCESS (DECKING)
APPLY NON-SKID PAINT OR SUITABLE ALTERNATIVE TO ACCESS DECKING IN ACCORDANCE WITH SECTION 2 / TABLE 2 NZBC D1.

VERANDAH BEAMS
WHERE VERANDAH BEAMS CONNECT TO WALL FRAMING, ENSURE BEAM EXTENDS 4 STUDS MIN. (180mm) INTO THE WALL TO ALLOW LUMBERLOK LINTEL FIXING BEYOND THE ADJOINING WALL

KEY:

- WARDROBE SHELVES (1/SHELF WITH RAIL)
- LIN. LINEN CUPBOARD 5 FULL DEPTH SHELVES
- ST. STORAGE CUPBOARD - SINGLE SHELF
- "THE HATCH" 635x535mm CEILING ACCESS**
- VINYL FLOORING **
- EXTERIOR WATER TAP **
- POWER METER BOX **
- POWER DISTRIBUTION BOARD **
- SMOKE ALARM - TO COMPLY WITH NZBC F7
- INSULATED WALL
- HATCH INDICATES LOCATION OF INTERIOR LOAD BEARING WALL
- MECHANICAL EXTRACT VENTED TO SOFFIT

** CONFIRM LOCATION WITH OWNER PRIOR TO INSTALLATION

BRACING / LINTEL / FRAMING NOTES

STUD SIZES: (UNLESS NOTED ON THE PLAN)

EXTERIOR WALLS: (TO HIGH WIND ZONE)
90 x 45mm H1.2 SGB STUDS @ 600mm CRS.
NOGS: ALL NOGS @ 800mm MAX. CRS.

INTERIOR WALLS:
90 x 45mm H1.2 SGB STUDS @ 600mm CRS.
ALL NOGS @ 800mm MAX. CRS.

LINTEL FRAMING/FIXING:
ALL LINTELS TO BE H1.2 SGB UNLESS STATED OTHERWISE. FIX LINTELS AS DETAILED BY LUMBERLOK LINTEL FIXING DETAILS ON SHEET 06 AS REFERENCED FROM BRACING/LINTEL PLAN. ALLOW TO PACK OUT ALL LINTELS TO SUIT 140mm STUDS

BRACING:
INSTALL & FIX ALL BRACING IN ACCORDANCE WITH 'GIB EZYBRACE SYSTEMS' SPECIFICATION AND INSTALLATION MANUAL AUG 2016
BOTTOM PLATE TO BE FIXED TO STUDS FOR BRACING ELEMENTS IN ACCORDANCE WITH GIB BRACING MANUAL.

TOP PLATES:
TOP PLATE FIXINGS TO BE TYPE 'B' TO ALL EXTERIOR WALLS AND LOAD BEARING INTERIOR WALLS, AS PER DETAIL ON THIS SHEET.
INTERIOR NON-LOAD BEARING WALLS TO BE TYPE 'A' FIXING WITH 2.90 x 3.15 DIA. PLAIN STEEL WIRE NAILS DRIVEN VERTICALLY INTO STUD, AS PER DETAIL ON THIS SHEET.

TYPICAL NOTES:

FLOORS

- F01 (FLOOR SLAB TYPICAL)
100mm THICK 25MPa CONCRETE FLOOR SLAB, REINFORCED WITH GRADE SET2 REINFORCING MESH, WITH 30mm TOP COVER OVER 0.25mm POLYTHENE DPM OVER. 25mm SAND BLINDING OVER. 75mm MIN. COMPACTED HARDFILL LAP REINFORCING MESH MIN. 250mm BAR TO BAR
- F02 (TYPICAL DWELLING)
KOPINE ULTRALOCK 20mm PARTICLE BOARD FLOORING LAID ON H1.2 JOISTS. EXPOL UNDERFLOOR R1.4 EPS INSULATION LAID BETWEEN JOISTS.
- F03 (DECK)
EX 150x40mm PINE DECKING, LAID ON H3.2 JOISTS @ CRS. SHOWN ON FLOOR FRAMING PLAN.

WALL CLADDINGS

- W01 (PRIMARY CLADDING)
BGC 175mm NULINE PLUS WEATHERBOARDS WITH PAINTED CORNER SOAKERS OVER H3.1 TIMBER CAVITY BATTENS ON MASON'S BARRICADE BUILDING WRAP ON H1.2 SGB STUDS.
- W02 (SECONDARY CLADDING)
SELECTED 70 SERIES BRICK OVER 50mm CAVITY ON MASON'S BARRICADE BUILDING WRAP ON H1.2 SGB STUDS.
- W03 (PRIMARY SUBFLOOR CLADDING)
BGC 6mm DURASHEET WALL LINING OVER 70x45 H3.2 SGB SUB-FLOOR FRAMING BETWEEN PILES
- W04 (DECK SUBFLOOR CLADDING)
90x25mm H3.2 HORIZONTAL BATTENS WITH MIN. 20mm GAP BETWEEN OVER 70x45 H3.2 SGB SUB-FLOOR FRAMING
- W00 (INTERIOR LINING)
10mm GIB LINING STOPPED TO LEVEL 4. (10mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH)
R2.2 WALL BATTS TO EXTERIOR WALLS (EXCLUDING GARAGE).

ROOFS

- R01 (PRIMARY CLADDING)
COLOR TILE PRESSED METAL TILES WITH 'V' RIDGE TRIM ON H1.2 SGB TILE BATTENS OVER DRISTUD RU24 ROOF UNDERLAY.
- R02 (GUTTER/FASCIA)
COLORCOTE CONTINUOUS QUARTZ GUTTER ON CONTINUOUS 180 R5 COLORCOTE FASCIA, WITH 980 MARLEY uPVC ROUND DOWNPIPES (UNPAINTED).

CEILING

- C01 (INTERIOR LINING)
13mm GIB LINING FIXED TO UNDERSIDE OF CB35 STEEL ROLLFORMERS @ 800CRS MAX. STOPPED TO LEVEL 4 (13mm GIB AQUALINE TO WET AREAS WITH GLOSS OR SEMI-GLOSS FINISH) R3.2 BLANKET INSULATION ON CEILING BATTENS BETWEEN TRUSS BOTTOM CHORDS (EXCLUDING GARAGE).
- C02 (SOFFIT)
4.5mm BGC SOFFIT LINING DIRECT FIXED TO UNDERSIDE OF SOFFIT FRAMING

JOINERY

- J01 (JOINERY)
DOUBLE GLAZED CLEAR, ALUMINIUM POWDERCOATED JOINERY.

TIMBER TREATMENT:
TREATMENT LEVELS TO COMPLY WITH NZBC CLAUSE B2/AS1 DURABILITY, NZS3602, TIMBER AND WOOD BASED PRODUCTS FOR USE IN BUILDING AND NZS3640 CHEMICAL PRESERVATION OF ROUND AND SAWN TIMBER.
H1.2 ALL WALL FRAMING AND ASSOCIATED MEMBERS ROOF FRAMING, TRUSSES AND CEILING JOISTS ENCLOSED FRAMING WITHIN SKILLION / FLAT ROOFS
H3.1-CLADDING CAVITY BATTENS

DURABILITY
DURABILITY OF STRUCTURAL FIXINGS FOR ZONE C FIXINGS ARE TO COMPLY WITH NZBC B2 DURABILITY AND NZS3604:2011 SECTION 4 - DURABILITY.
ALL STRUCTURAL FIXINGS IN EXPOSED ENVIRONMENT OR WITHIN 600mm OF GROUND ARE TO BE TYPE 304 OR 316 STAINLESS STEEL.

FLASHING AND WRAP SYSTEMS
ALL FLASHINGS, FLASHING TAPES, WRAPS, UNDERLAYS AND ASSOCIATED ACCESSORIES ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

NOTE
ALL BOLTS SHALL HAVE 50SQ X 3MM WASHERS TO TIMBER FACES.

15 12 22 DECK REMOVED

02 15/12/22 AMENDMENT - DECK REMOVED JM

01 21/04/21 RFI DATED 21/06/2021 AS

REV.	DATE	DESCRIPTION	DRAWN
-	21/04/21	BUILDING CONSENT SET	AS

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WWW.HOMEWORLD.CO.NZ

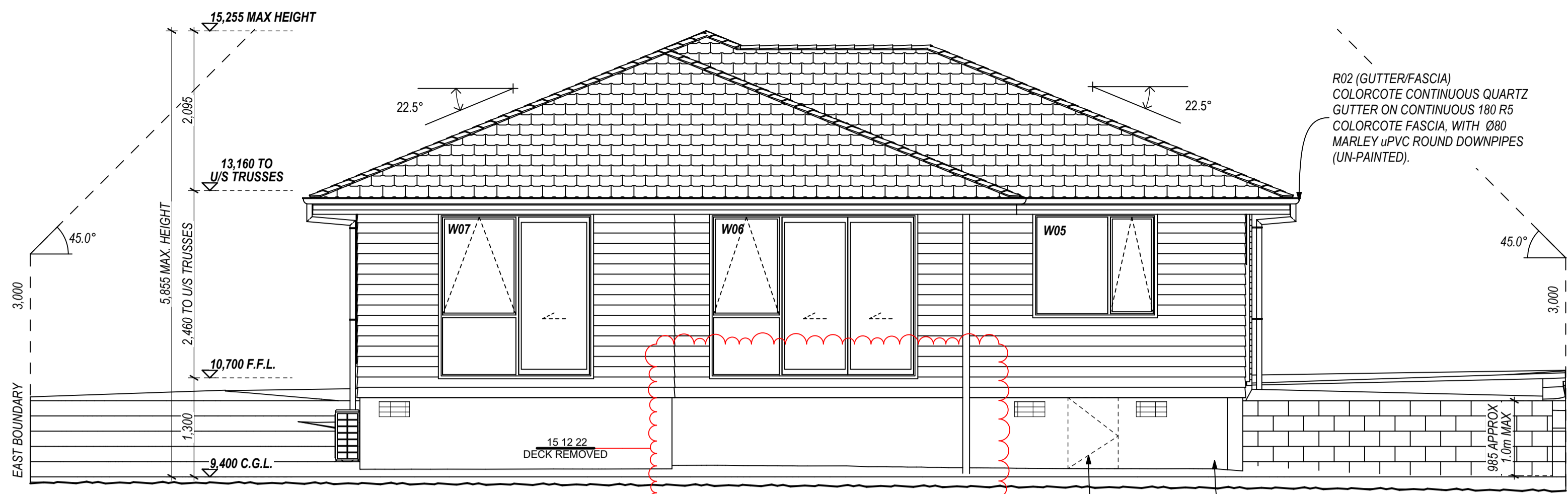
WILLIAMSON III RESIDENCE
315B, WESTERN HILLS DRIVE, AVENUES, WHANGAREI, 010
GPS - 35°43'24.4"S 174°18'49.7"E

FLOOR/FRAMING/BRACING PLAN

****BUILDING CONSENT****

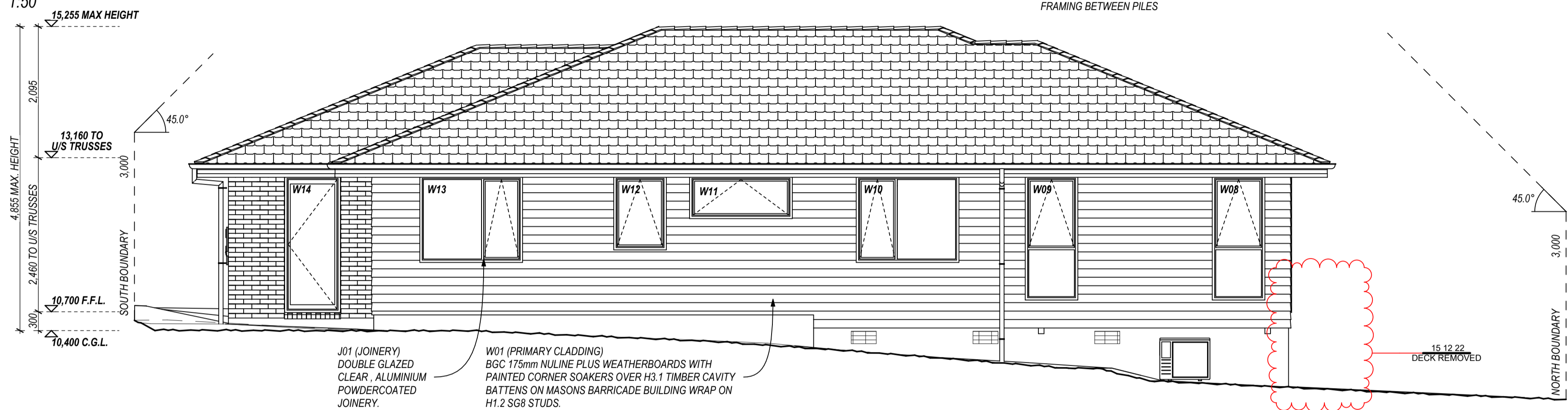
DATE:	15/12/2022
REVISION:	01
SHEET SIZE:	A1
JOB NO:	5040ST
DRAWN:	AS
PAGE:	02 OF 07

© COPYRIGHT HOMEWORLD DESIGN & BUILD
WILLIAMSON III - 5040ST - REV-02 - 151222 - DECK REMOVED.pn



NORTH ELEVATION

1:50



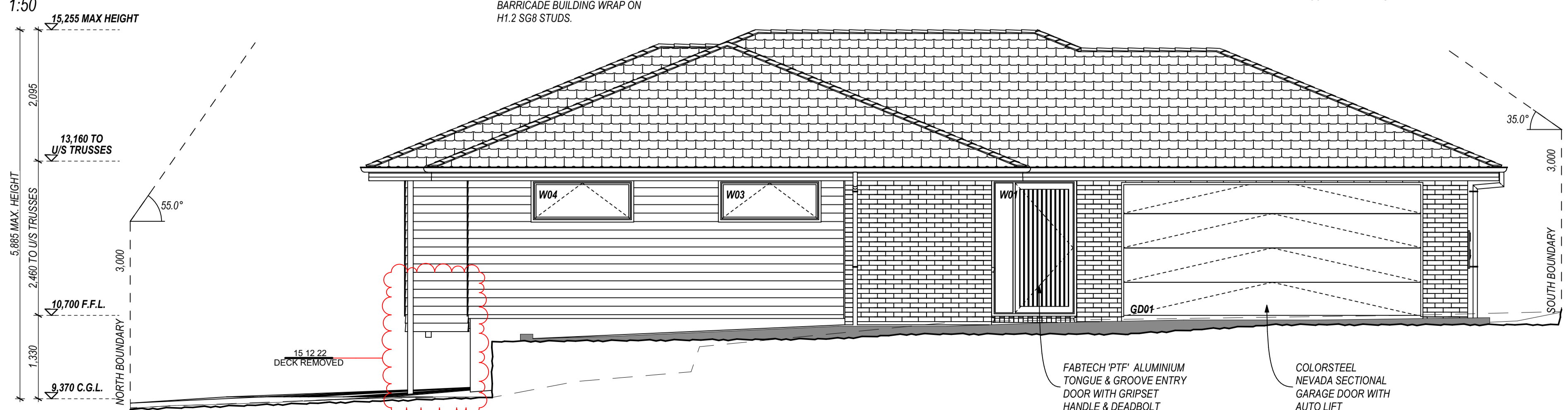
EAST ELEVATION

1:50



SOUTH ELEVATION

1:50



WEST ELEVATION

1:50

H1/AS1 Calculation method:

H1 Energy Efficiency Calculations

Building Data:

Climate Zone: Zone 1

A_{Roof} (Total Roof Area): 121.26 m²

Total Wall Area (including glazing): 126.86 m²

30% of Total Wall Area: 38.06 m²

70% of Total Wall Area: 88.80 m²

A_{Wall} (Total Wall Area - Total Glazing Area): 98.36 m²

A_{Glazing} (Total Glazing Area): 28.50 m²

Glazing Ratio: 22.47 %

A_{Floor} (Total Floor Area): 121.26 m²

Reference Building Heat Loss:

$$HL_{ref} = \frac{A_{Roof} \times U_{Roof} \times \Delta T_{int-ext}}{2.9} + \frac{A_{Wall} \times U_{Wall} \times \Delta T_{int-ext}}{1.9} + \frac{A_{Glazing} \times U_{Glazing} \times \Delta T_{int-ext}}{0.26} + \frac{A_{Floor} \times U_{Floor} \times \Delta T_{int-ext}}{1.3}$$

$$= \frac{121.26 \times 1.9 \times 38.06}{2.9} + \frac{88.80 \times 0.26 \times 121.26}{1.9} + \frac{28.50 \times 1.3}{0.26} + \frac{121.26}{1.3}$$

$$= 41.81 + 46.74 + 146.38 + 93.28$$

$$= 328.2 \text{ W}^\circ\text{C}$$

Proposed Building Heat Loss:

Building Element	R (m ² °C/W)	A (m ²)	HL
Roof	METAL TILE ROOFING OVER TRUSSES @ØØCRS WITH R3.2 INSULATION	3.10	121.3
Wall	WB OVER 20mm CAVITY OVER 90mm FRAMING WITH R2.2 INSULATION	1.90	89.4
Glazing	BRICK CLADDING OVER 90mm FRAMING WITH R2.2 INSULATION	1.90	9.0
Floor	DOUBLE-GLAZED WINDOWS	0.26	28.5
	TIMBER FLOORING OVER JOISTS @ØØØ CRS WITH R1.4 EPS INSULATION	1.50	57.0
	CONCRETE SLAB ON VAPOUR BARRIER	1.50	64.3
Total Heat Loss =			281.3 W ^o C

RISK MATRIX

ALL ELEVATIONS

Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		3

TYPICAL NOTES:

- FLOORS**
- F01 (FLOOR SLAB TYPICAL) 100mm THICK 25MPa CONCRETE FLOOR SLAB, REINFORCED WITH GRADE SE72 REINFORCING MESH, WITH 30mm TOP COVER OVER 0.25mm POLYTHENE DPM OVER, 25mm SAND BLINDING OVER, 75mm MIN. COMPACTED HARDFILL LAP REINFORCING MESH MIN. 250mm BAR TO BAR
 - F02 (TYPICAL DWELLING) KOPINE ULTRALOCK 20mm PARTICLE BOARD FLOORING LAID ON H1.2 JOISTS. EXPOL UNDERFLOOR R1.4 EPS INSULATION LAID BETWEEN JOISTS.
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 - W02 (SECONDARY CLADDING) SELECTED 70 SERIES BRICK OVER 50mm CAVITY ON MASONS BARRICADE BUILDING WRAP ON H1.2 S68 STUDS.
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- NOTE**
- ALL BOLTS SHALL HAVE 50SQ X 3MM WASHERS TO TIMBER FACES.

JOINERY NOTES:

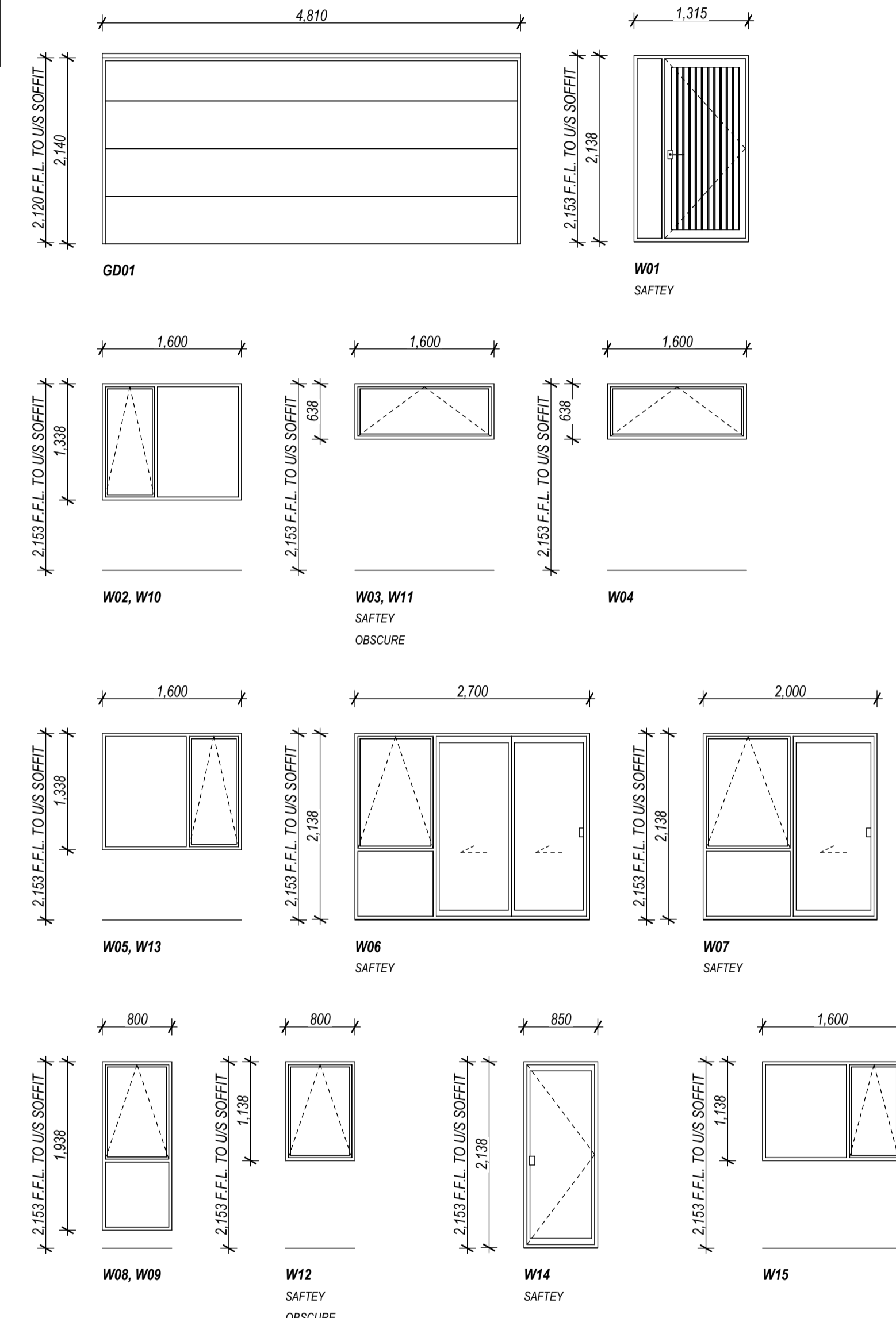
- J01 (JOINERY) DOUBLE GLAZED CLEAR, ALUMINIUM POWDERCOATED JOINERY.
- ALL UNITS VIEWED FROM EXTERIOR
 - ALL DIMENSIONS WINDOW SIZE (NOT TRIM SIZE) CONFIRM BEFORE COMMENCING CONSTRUCTION
 - ALL JOINERY TO BE POWDERCOATED ALUMINIUM AND BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.
 - ALL JOINERY TO HAVE H3.1 JAMBLINERS.
 - ALL GLAZING BELOW 600mm FROM F.F.L. TO BE TOUGHENED SAFETY GLASS

- JOINERY MANUFACTURER TO CHECK AND VERIFY ALL DIMENSIONS, AND STRUCTURAL SUPPORTS WHERE REQUIRED.**

- GLAZING TO COMPLY WITH THE FOLLOWING STANDARDS
- NZS 3504: SPECIFICATION FOR ALUMINIUM WINDOWS
 - NZS 4223: CODE OF PRACTICE FOR GLAZING IN BUILDINGS
 - NZS 4211: SPECIFICATION FOR THE PERFORMANCE OF WINDOWS

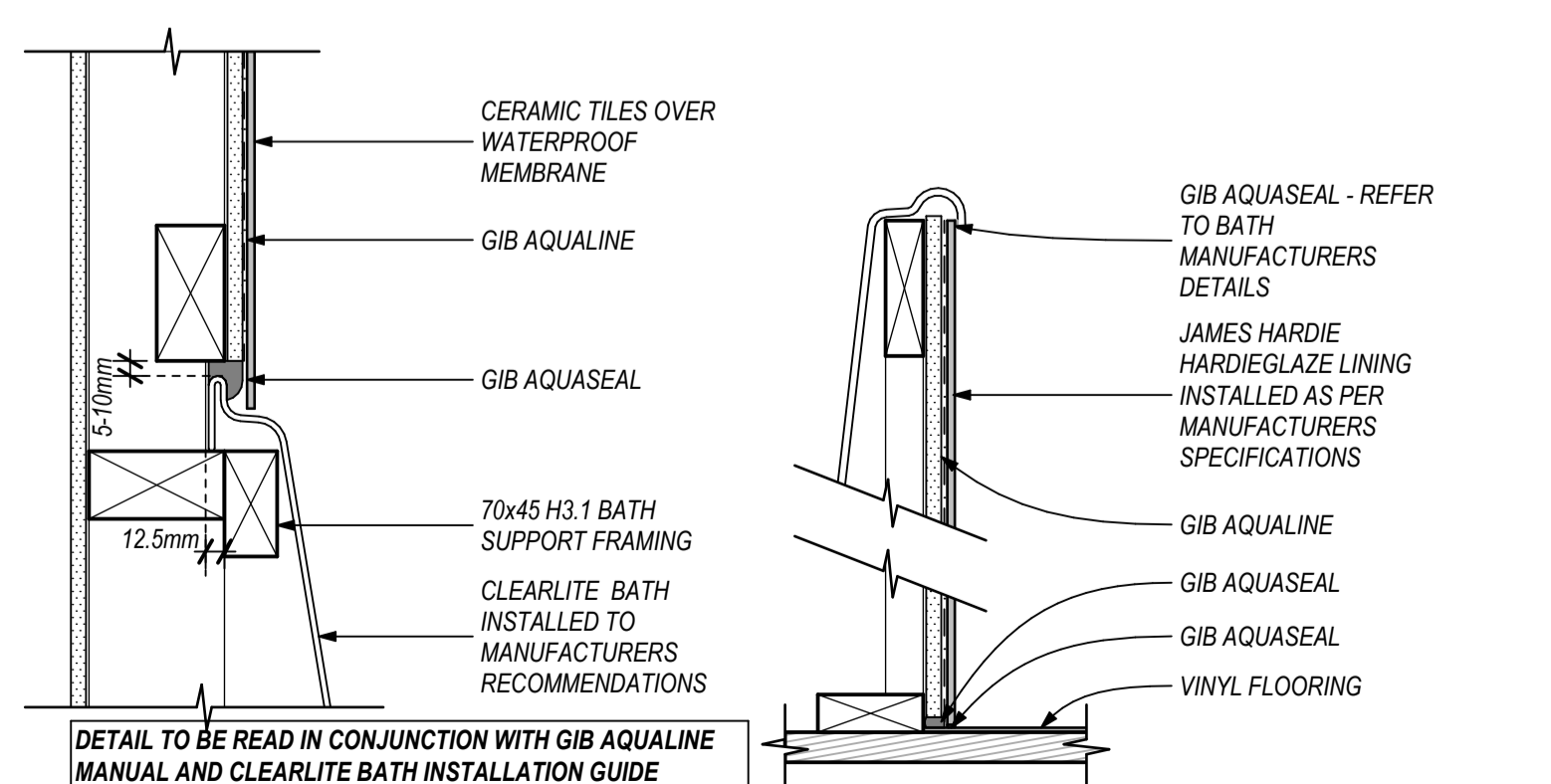
- GLASS, TOUGHENED AS REQUIRED FOR PANE SIZE.
- ALL FIXINGS AND FLASHINGS TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
 - INSTALL WITH FLASHING TAPE SYSTEM TO WRAP MANUFACTURERS SPECIFICATIONS AND DETAILS.

- FINISHES TO ALL SILL TRAYS AND FLASHINGS TO MATCH JOINERY FRAMES.



WINDOW SCHEDULE

1:50



BATH DETAILS

1:50

02	15/12/22	AMENDMENT - DECK REMOVED	JM
01	21/06/21	RFI DATED 21/06/2021	AS
-	21/04/21	BUILDING CONSENT SET	AS
REV.	DATE	DESCRIPTION	DRAWN

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WILLIAMSON III RESIDENCE
315B, WESTERN HILLS DRIVE, AVENUES, WHANGAREI, 010
GPS - 35°43'24.4"S 174°18'49.7"E

ELEVATIONS & WINDOW SCHEDULE

****BUILDING CONSENT****

DATE:	15/12/2022
REVISION:	01
SHEET SIZE:	A1
JOB NO:	5040ST
DRAWN:	AS
PAGE:	03 OF 07



SUITABILITY REPORT

315 Western Hills Drive

Whangarei

(Lot 1 DP 492667, SD 1000136.1)

BC2100662

APPROVED

01/07/2021

SUITABILITY REPORT
315 Western Hills Drive
Whangarei
(Lot 1 DP 492667, SD 1000136.1)

Report prepared for: Homeworld - Williamson

Report prepared by: Codie Hay

Report reviewed by: Steve Turner

Report reference: 17576

Date: 28 June 2021

Issue: 2



association of
consulting and
engineering

Issue	Details	Date
1	Building Consent Issue	8 March 2021
2	Flood Assessment Updated	28 June 2021

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01/07/2021

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Appendices

A	Drawings
B	Subsurface Investigations
C	Stormwater Attenuation Design and Details

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01/07/2021
WHANGAREI DISTRICT COUNCIL BCA**

SUITABILITY REPORT

315 Western Hills Drive, Whangarei

(Lot 1 DP 492667, SD 1000136.1)

1.0 Introduction

RS Eng Ltd has been engaged by Homeworld, on behalf of their client, to investigate the suitability of the property (Lot 1 DP 492667, SD 1000136.1) for residential construction. The purpose of this report is to assess the stability of the building site making foundation and earthworks recommendations and to detail the design of a stormwater attenuation system.

The client proposes to construct a three-bedroom single level dwelling partly on a concrete slab floor and partly on timber piles with timber framing and a mix of weatherboard and brick veneer cladding.

2.0 Site Description

This 460m² property is located on Western Hills Drive, approximately 150m from the intersection between Selwyn Avenue, Rust Avenue and Western Hills Drive. The property slopes gently downwards towards the northeast from the road, with ground coverage being lawn.



Figure 1: View of property, Northwest direction

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3.0 Desk Study

3.1 Referenced/Reviewed Documents

The following documents have been referenced in this report:

- Cook Costello Consulting Engineers - *“Subdivision Suitability Report, 315 Western Hills Drive, Whangarei”*, dated 26 July 2010.
- GNS – Geology Of The Whangarei Area – Edbrooke & Brook – 2009.
- D Earl – *“To determine if there is a correlation between the shrink swell index and Atterberg limits for soil with the Shepparton Formation”* dated October 2005.
- S Jayasekera and A Mohajerani – AGS Vol38 No.2 *“Some Relationships Between Shrink-Swell Index, Liquid Limit, Plasticity Index, Activity and Free Swell Index”* dated 2 June 2003.
- WDC – *“Building Over or Near Public Sewer and Stormwater Pipelines - Policy #0022”* dated June 2015.

3.2 Site Geology

The GNS 1:250,000 scale New Zealand Geology Web Map indicates that the property is located within an area that is underlain by Tauranga Group Alluvium, described as follows: *“Unconsolidated to poorly consolidated mud, sand, gravel and peat deposits of alluvial, colluvial and lacustrine origins.”*

3.3 Aerial Photography Review

RS Eng has undertaken a review of historical aerial photography, specifically an image from 1942. Refer Figure 2 below of the 1942 Image. The site appears to have remained relatively unchanged since this time.



Figure 2: 1942 Aerial Image (Source: www.retro.lens.nz)

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3.4 Subdivision Report

The underlying subdivision was reported on by Cook Costello Consulting Engineers in a report entitled “*Subdivision Suitability Report, 315 Western Hills Drive, Whangarei*”, dated 26 July 2010. The following recommendations were made in relation to the property in question:

- *“The site is gently sloping and minimal earthworks and/or small retaining structure of approximately 1.0m in height will be required to create a suitable flat building platform. Alternatively the foundations for any new dwelling proposed within Lot 1 could be designed to accommodate the sloping nature of the site. No areas within the subdivision are identified as being subject to past land movement and given the nature of the development and topography of the site it is unlikely that the site will be subject to land instability. The scope of the field investigations was typically confined to the proposed building location and inspection of ground conditions during construction should be carried out to verify that they are in accordance with those assumed from the boreholes.”*
- *“Minor retaining and/or earthworks are required at the site to form a flat building platform with access available at gentle grades directly from Western Hills Drive. All earthworks and subgrade formation for the building platform and access should be constructed in accordance with proper engineering practice and Whangarei District Council Engineering Standards.”*

4.0 Field Investigation

A technician from this office visited the property on 6 January 2021 to undertake a walkover inspection and two hand augered boreholes. The walkover inspection did not observe any signs of concern at the building site in relation to the proposal.

Two hand augered boreholes were completed at the building area. The In-Situ Undrained Shear Strengths were recorded at regular intervals down the boreholes using a Pilcon Shear Vane, together with logging the soil profile. See Appendix A and B for test locations and results.

The hand augers were excavated to depths of 2.4m and 2.5m below ground level. The soils generally consisted of a shallow depth of topsoil overlying very stiff residual clayey silts with minor fine sand and trace fine angular gravels to 2.2m. Silts with some clay derived from the Tauranga Group were encountered from 2.2m to a tested depth of 2.4m and 2.5m where the hand auger was unable to penetrate. The In-Situ Undrained Shear Strengths recorded ranged from 164kPa and to more than 188kPa. Groundwater was not encountered in the hand augers.

Sampling for assessment of expansive soils was completed in Hand Auger 2. The results are summarised in Table 1 below and included in Appendix B.

Table 1: Atterberg Limits Results

Sample	Liquid Limit	Plastic Limit	Plastic Index	Natural Water Content	Linear Shrinkage	Clay %
HA2-0.6-1.0-D	97	38	59	44.8	21	61

5.0 Subsoil Conditions

Interpretation of subsurface conditions are based on the investigations shown on the drawings in Appendix A. The conditions are summarised below;

- No fill was encountered in any investigations.
- Topsoil was encountered at an average depth of 0.1m
- Residual soils consisted of silts and clayey silts with minor fine sand and trace fine angular gravels, very stiff, having a depth of between 0.1-2.2m.
- No groundwater was observed in the investigations.

In accordance NZS 1170.5:2004, Section 3.12.3 the site has been assessed for its Site Subsoil Class. Based on the observation listed above RS Eng consider the site soils lie within Site Class C *“Shallow Soil Site.”*

6.0 Geotechnical Assessment

6.1 Slope Stability

The Whangarei District Council has designated this property as being within a zone of low instability hazards. The following is a definition of the Low Instability Hazard Zone: *“Erosion or landslide morphology is not apparent. Not considered to be at risk of instability. May, however, be at risk as a result of natural events, or development. Steeper slopes may be subject to soil creep.”*

Considering the gently sloping topography, stiff soil strengths and lack of observed slope instability, RS Eng consider the risk of slope instability to be low. Recommendations for site development have been made in the following sections of this report.

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6.2 Expansive Soils

The clayey soils encountered on-site are likely to be subject to volumetric change with seasonal changes in moisture content (wet winters / dry summers); this is known as expansive or reactive soils. Apart from seasonal changes in moisture content other factors that can influence soil moisture content include:

- Influence of garden watering and site drainage.
- The presence of large trees close to buildings.
- Initial soil moisture conditions during construction, especially during summer and more so during a drought. Building platforms that have dried out after initial excavation should be thoroughly wet prior to any floor slabs being poured.

Based on the results of disturbed soil sampling, namely Atterberg Limits, Linear Shrinkage and percentage clay fines, RS Eng Ltd consider the soils as being Class H (Highly Reactive) as per AS2870 and B1/AS1 of the NZ Building Code.

6.3 Building Over Or Near Public Pipelines

The Whangarei District Council for building over or near public pipelines states the following;

- *“Unless written dispensation is provided by the council Waste and Drainage Manager, Council does not permit the following;*
 - *Building over or within a horizontal distance of 2 metres measured from the outside of the pipe.*
 - *Building within the zone of influence of the pipe.”*

An existing sewer pipeline runs within the property adjacent to the southern boundary at a depth of approximately 2.3m. The dwelling is proposed to be within the zone of influence and 2.0m setback of this sewer pipeline. Foundations on the southern side of the dwelling will need to extend a minimum 1.4m below existing ground level to account for the zone of influence of this pipe, specific approval will be required from the WDC Waste and Drainage Manager.

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6.4 Site Works

To form level access to and create a building platform for the dwelling minor earthworks are proposed. To suitably develop the building area, we recommend as follows:

- Cut and fill batters should be sloped at angles less than 1V to 3H (18°).
- Any retaining wall should be specifically designed by a Chartered Professional Engineer, using the parameters detailed in Table 2 below.
- Site works shall generally be completed in accordance with NZS4431.

Table 2: Retaining Wall Design Parameters

Parameter	Silts & Clayey Silts
Soil Density (kN/m ³)	18
Friction Angle (°)	30
Drained Cohesion (kPa)	6
Undrained Shear Strength (kPa)	70
Coefficient of earth pressure	K ₀

6.5 Foundations

The southwestern end of the dwelling is proposed to be founded on a 100mm concrete slab atop of a masonry block perimeter wall and strip footing. These foundations will need to extend below the zone of influence of the wastewater pipeline as noted in Section 6.3. The northern side of the dwelling downslope will be founded on timber piles. Part of the north eastern side of the dwelling will require the foundations to be excavated to below the base of the attenuation tank. To suitably found the proposed construction we recommend the following:

- The concrete slab shall be specifically designed for Class H Soil.
- Timber pile and any other isolated standard type foundations will need to extend to a minimum depth of 1.0m below clear ground level to account for highly expansive soils.
- Foundations to extend below the line of influence from the sanitary sewer and attenuation tank.

For specific design of foundations RS Eng has assessed the following (based on NZBC B1/VM4):

- Ultimate Bearing Capacity 300kPa
- Dependable Bearing Capacity ($\phi=0.5$) 150kPa

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6.6 Acid Sulphate Soils

The WDC have zoned this property to be within an area at risk of acid sulphate soils. Sulphates have been deposited in these areas during the last significant sea level rise. When reacted with oxygen under the right conditions (generally areas with high groundwater tables), the sulphates can become acidic, which in turn can cause problems with the concrete components of structures beneath ground level.

The following paragraph has been extracted from a report completed by Opus International Consultants Ltd 2016, entitled: *“Waipu – Nova Scotia Acid Sulphate Soil Management Plan.”* This is considered an accurate representation of most sites subject to potential acidic soils.

“If footings are excavated in acid sulphate soils, then a small amount of acid may be generated in the soil around those footings. Once the concrete is poured in, the alkalinity in the concrete would be likely to react with the acidity in the soil and neutralise it (generally resulting in a negligible unnoticeable amount of concrete corrosion in the process). Once the footings and slab are in place, the soil is then cut off from further oxygen supply.”

Additionally, the proposed concrete slab will be founded upon a masonry block perimeter wall extending up to 1.4m below ground level and timber piles extending 1.0m below ground level set in concrete, not likely to ever come in contact with potentially acidic soils which can only occur within the range of seasonal groundwater fluctuation. RS Eng Ltd therefore consider the risk of damage to the concrete foundations as a result of acid sulphate soils to be low.

7.0 Flooding

The Whangarei District Council and Northland Regional Council have designated a small portion of the northeast corner of property as being within the 100-year flood extent. Flood levels were obtained from the Northland Regional Council from their model at the property location. These levels are presented in Table 3 below.

Table 3: Retaining Wall Design Parameters

Event (Annual Exceedance Probability)	Flood Level (OTP Datum)
10% AEP	6.33m
2% AEP	7.09m
1% AEP + Climate Change	7.83m

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The Whangarei District Council Engineering Standards state the minimum floor level above the 1% AEP flood level shall be 0.5m for habitable buildings. Based on the above levels the minimum floor level should be 8.4m One Tree Point Datum. The proposed finished floor level is 10.7m and the low point of the property is 9.3m One Tree Point Datum.

A review of the council LiDar survey shows a depression in the area identified as being flood susceptible on the council GIS Maps. This area is in the neighbouring properties and does not extend into the subject property. The depression slopes towards the east and therefore ponding is not expected. Based on the above assessment RS Eng considers the risk of inundation to the development to be low.

8.0 Stormwater Assessment

8.1 Attenuation

The new dwelling will have a roof and drive area of 204m² and 113m² respectively. Impervious surfaces allow little or no infiltration of stormwater into the ground and therefore a greater volume of rainfall will runoff the surface. As a result, attenuation of the stormwater runoff is required to ensure stormwater flows from the property are no higher than predevelopment. This minimises any adverse effects on downstream properties and council services.

The Whangarei District Council (WDC) Environmental Engineering Standards (EES) requires attenuation of stormwater runoff from any increase in impervious areas so that post development peak flows are 80% of pre-development. The WDC EES specifies that the flows be attenuated for the 20% and 1% Annual Exceedance Probability (AEP) events.

It is proposed to direct stormwater runoff from the roof of the new dwelling into a partially buried rainwater storage tank with restricted outlets which reduce the peak flows to predevelopment levels. The attenuation tank restricts stormwater runoff from the roof sufficiently to compensate for the increased flows from the paved area.

The pre-development and post-development runoff was modelled with HydroCAD. The United States Department of Agriculture Technical Release 55 (TR55) Type 1A method was adopted for calculating the run-off flow, using rainfall flows from HIRDS 4 (High Intensity Rainfall Design System, NIWA) and allowing for 20% climate change as required by WDC EES. The subsoils have been determined as Heavy Clays, designated as Group C soils with good grass cover, from WDC EES. Table 4 includes a summary of the stormwater modelling.

Table 4: Stormwater Attenuation Design Summary

	Pre-development		Post-development	
Permeable Area (m ²) Grassed	317		0	
Impervious Area (m ²) Roof Drive	0		204 113	
Peak flow l/s	20% AEP	1% AEP	20% AEP +20%	1% AEP +20%
From surfaces	2.55	4.96	3.54	6.36
80% (design flows reqd.)	2.04	3.97		
Total attenuated flows			2.02	3.93
Tank storage required			5.2m ³	10.0m ³
Attenuation Tank Summary				
Tank	Promax 10,000L or similar			
Tank Diameter	2.2m			
	Diameter		Depth from Overflow	
Primary Orifice	19mm		2.4m	
Secondary Orifice	17mm		1.038m	

8.2 Stormwater Disposal

The discharge from the attenuation tank should be connected to the WDC reticulation. It is proposed to partly bury the attenuation tank to 0.8m below existing ground level to allow for fall from the driveway. The depth of the stormwater connection is approximately 0.9m allowing adequate fall from the tank outlet to the stormwater connection. Consideration will need to be given to the position of the tank and potential for undermining dwelling foundations and services.

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9.0 Inspections and Producer Statements

RS Eng recommend a suitably experience Chartered Professional monitor the construction of the following works:

- Contained fills greater than 600mm in depth.
- Foundation excavations and construction.
- Retaining wall foundations.

Any works not inspected will be excluded from future producer statements (PS4) to be issued by RS Eng. In any event, where doubt exists regarding inspections, this office should be contacted for advice, and provided with reasonable notice of inspections.

10.0 Conclusions

It is the conclusion of RS Eng Ltd that the building area is suitable for the proposal provided the recommendations and limitations stated within this report are adhered to.

RS Eng Ltd also concludes that subject to the recommendations of this report, in terms of Section 72 of the Building Act 2004;

(a) the building work to which an application for a building consent relates will not accelerate, worsen, or result in inundation, slippage, or subsidence on the land on which the building work is to be carried out or any other property; and

(b) the land is neither subject to nor likely to be subject to inundation, slippage, or subsidence.

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11.0 Limitations

This report has been prepared solely for the benefit of our client and the Whangarei District Council. The purpose is to determine the engineering suitability of the proposed residential building, in relation to the material covered by the report. The reliance by other parties on the information or opinions contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed.

This report does not address matters relating to the National Environmental Standard for Contaminated Sites, and if applicable separate advice should be sought on this matter from a suitably qualified person.

If during the construction process, conditions are encountered that differ from the inferred conditions on which the report has been based, the site should be examined by a suitably qualified engineer to determine if any modification of the design based upon this report is required.

Prepared by:



Codie Hay
Engineering Technician

Reviewed by:



Steve Turner
Chartered Professional Engineer
BE(Civil), CPEng, IntPE(NZ), CEngNZ

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Form 7

Code Compliance Certificate BC2100662

Section 95, Building Act 2004

Issued: 30 March 2023

The Building

Street address of building: 315 A Western Hills Drive
Whangarei 0110

Legal description of land where building is located: LOT 1 DP 492667
LLP: 128289

Building name: N/A

Location of building within site/block number: N/A

Level unit number: N/A

Current, lawfully established use: Detached Dwelling

Year first constructed: 2021

The Owner

Williamson Developments (Whangarei) Limited
646 State Highway 14
RD 9
Whangarei 0179

Phone number: N/A

Mobile number: 0212174132

Facsimile number: N/A

Email address: jdtm.williamson@xtra.co.nz

Website: N/A

Street address/registered office: 315 A Western Hills Drive
Whangarei 0110

First point of contact for communications with the building consent authority:

Contact Person

Homeworld Design and Build Limited
PO Box 391
Whangarei 0140

Phone number: 4383779

Mobile number: N/A

Facsimile number: N/A

Email address: davidb@homeworld.co.nz

Website: N/A

Building Work

Building Consent Number:

Issued by:

New Dwelling

BC2100662

Whangarei District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that -

- (a) The building work complies with the building consent.



Jessica Tyler-Whiteman
Support Assistant – Building Processing
On behalf of Whangarei District Council

30 March 2023

Date

Fast Track - Public Utility Service Application 20mm Water Meter Only

PU211275

General Guidance

- All fields must be completed or N/A as appropriate
- The applicant must be the owner of the land, or the lease holder, or a person who has agreed to unconditionally purchase or lease the land
- If a Backflow Preventer is required with the water meter (see application requirements), please complete a 'standard' public utility works application.

Owner / Applicant

Full Name WILLIAMSON DEVELOPMENTS (WHANGAREI) LIMITED

Postal address 646 STATE HIGHWAY 14, RD9, WHANGAREI Post code 0179

Phone _____ Mobile 0212174132

Email jdtn.williamson@xtra.co.nz

Agent

Name ANDREW STERLING

Postal address PO BOX 391, WHANGAREI Post code 0140

Phone 09 438 3779 Mobile 0211707107

Email ANDREWS@HOMEWORLD.CO.NZ

Site Address

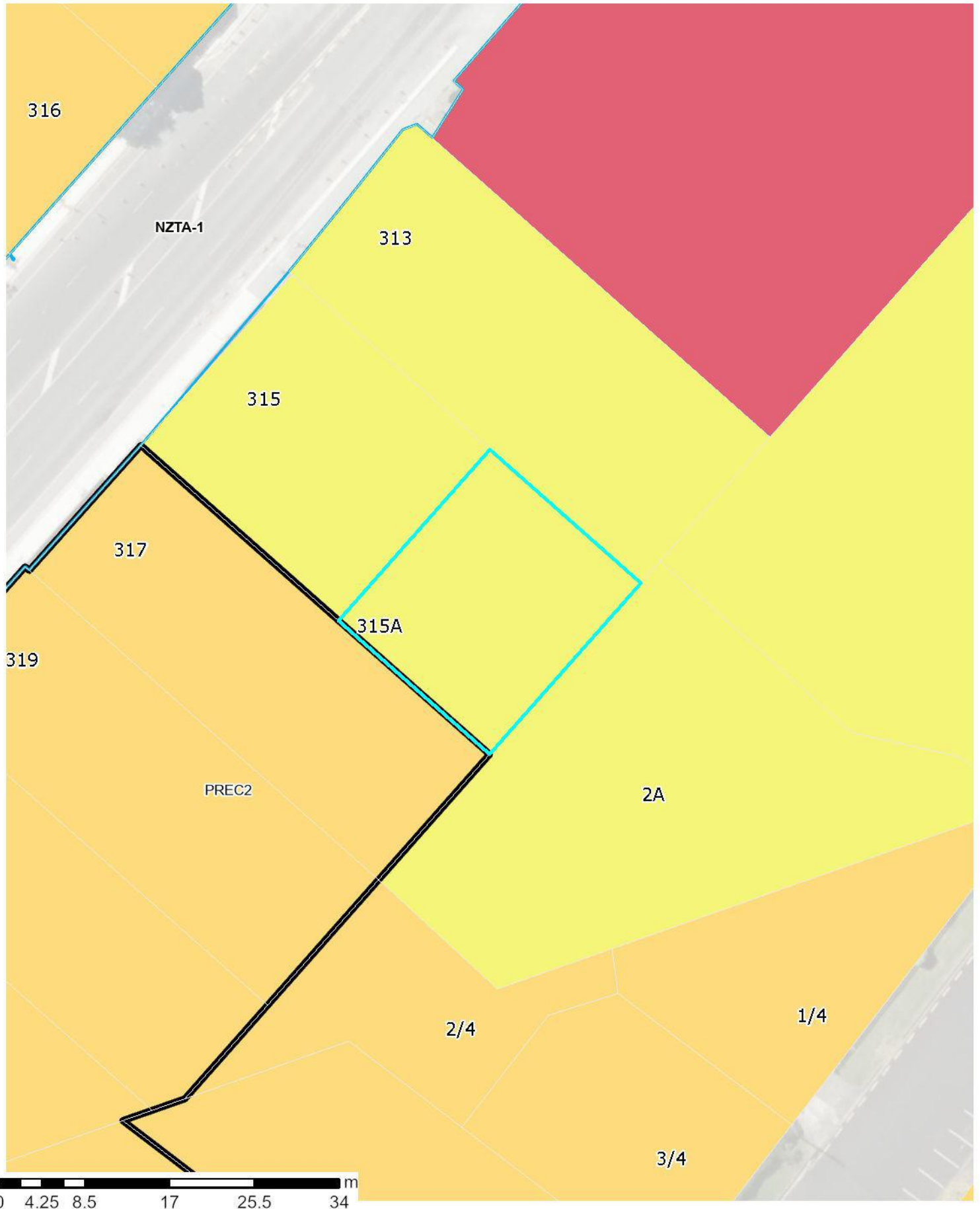
Street/Road Number 315A Street/Road Name WESTERN HILLS DRIVE

Town or Area WOODHILL Lot 01 DP 492667

Office Use Only

Property ID:	<u>165404</u>		
LLP number:	<u>128289</u>	Date:	<u>20/05/2021</u>
Related Consents:	<u>BC2100662</u>		

Operative District Plan - Area Specific Matters



The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed.

2 October 2023
Scale 1:500



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Operative District Plan – Map Legend

District-Wide Matters







Energy, Infrastructure and Transport

-  Airport Runway
-  Indicative Road
-  National Road
-  Regional Road
-  Arterial Road
-  Primary Collector Road
-  Secondary Collector Road
-  Access Road
-  Low Volume Road
-  Strategic Road Protection Area
-  Strategic Railway Protection Line
-  Rescue Helicopter Flight Path
-  National Grid Tower
-  Northpower Tower CEL-Cat1
-  National Grid Line
-  Northpower Overhead Critical Line Cel-Cat1
-  Northpower Critical Overhead Lines CEL
-  Northpower Critical Underground Lines CEL

Hazards and Risks

-  Coastal Erosion Hazard 1
-  Coastal Erosion Hazard 2
-  Flood Susceptible Areas
-  Mining Hazard Area 1
-  Mining Hazard Area 2
-  Mining Hazard Area 3

Historical and Cultural Values

-  Notable Tree Overlay
-  Heritage Item Overlay
-  Heritage Area Overlay
-  Sites of Significance to Maori
-  Areas of Significance to Maori
-  Papakāinga

Natural Environment Values

-  Esplanade Priority Area
-  Coastal Marine Area (CMA) boundary
-  Goat Control Areas
-  QRA Quarrying Resource Area
-  QRA Mining Area
-  QRA Buffer Area
-  QRA 500m Indicative Setback
-  Outstanding Natural Feature
-  Outstanding Natural Landscape

General District-Wide Matters

-  Air Noise Boundary
-  Outer Control Boundary
-  Helicopter Hovering Area
-  Noise Control Boundary Overlay
-  Rail noise alert area
-  Rail vibration alert area
-  Coastal Environment Overlay
-  Outstanding Natural Character Area
-  High Natural Character Area

Area Specific Matters

-  Multi Title Site
-  Designation
-  Precinct
-  Development Area

Residential Zones

-  Large Lot Residential Zone
-  Low Density Residential Zone
-  General Residential Zone
-  Medium Density Residential Zone

Rural Zones

-  Settlement Zone Residential Sub-Zone
-  Settlement Zone Centre Sub-Zone
-  Settlement Zone Industry Sub-Zone
-  Rural Production Zone
-  Rural Lifestyle Zone
-  Future Urban Zone
-  Strategic Rural Industries Zone
-  Fonterra Kauri Milk Processing SRIZ – Ancillary Irrigation Farms

Commercial and Mixed Zones

-  Local Centre Zone
-  Neighbourhood Centre Zone
-  Commercial Zone
-  Mixed Use Zone
-  Town Centre Zone
-  City Centre Zone
-  Waterfront Zone
-  Shopping Centre Zone

Industrial Zones

-  Light Industrial Zone
-  Heavy Industrial Zone

Open Space and Recreation Zones

-  Natural Open Space Zone
-  Open Space Zone
-  Sport and Active Recreation Zone

Special Purpose Zones

-  Airport Zone
-  Hospital Zone
-  Port Zone
-  Ruakaka Equine Zone

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